

THE POINTE AT BARCLAY

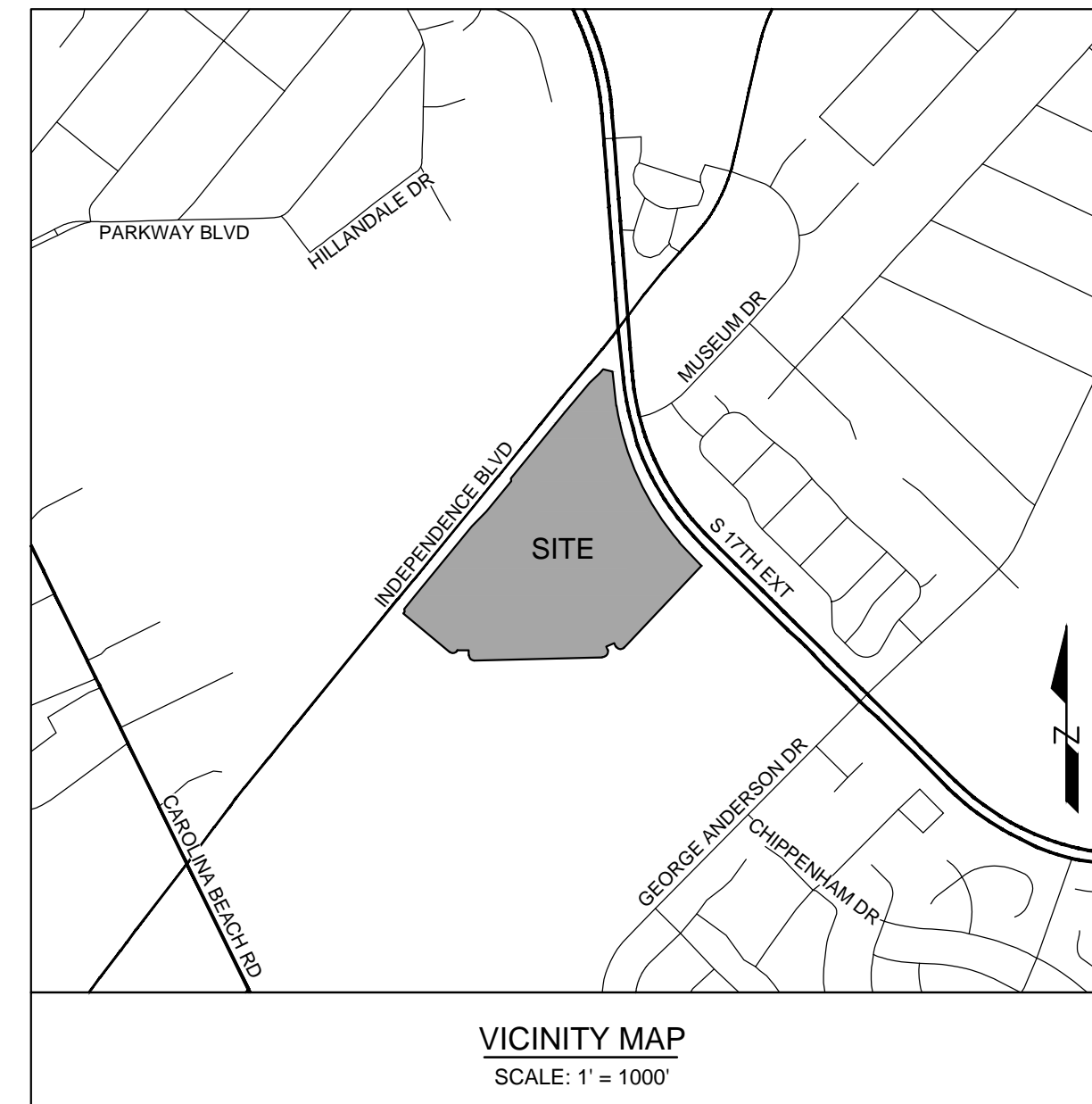
'BARCLAY WEST TRACT B' - PHASE I - BUILDING 4

WILMINGTON, NORTH CAROLINA

DESIGN DOCUMENTS

JULY 2017

PROJECT ADDRESS:
1407 BARCLAY POINTE BLVD
Wilmington, NC 28412



OWNER:
BARCLAY COMMONS RETAIL, LLC
111 METROPOLITAN AVE., SUITE 700
CHARLOTTE, NORTH CAROLINA 28204
ATTN: JOHN COLLETT

BARCLAY COMMONS RETAIL, LLC
1201 GLEN MEADE ROAD
WILMINGTON, NORTH CAROLINA 28401
ATTN: HILL ROGERS

CIVIL ENGINEERS, LAND PLANNERS & LANDSCAPE ARCHITECTS:
PARAMOUNT ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
910.791.6707
CIVIL ENGINEER - ATTN: DAN FISK, PE LANDSCAPE ARCHITECT - ATTN: ALLISON ENGBRETSON, RLA

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
C-1.1	SITE INVENTORY & DEMO PLAN
C-2.0	OVERALL SITE PLAN
C-2.1	SITE & UTILITY PLAN
C-3.0	EC & DRAINAGE PLAN
C-3.1	FINE GRADING PLAN
C-4.0 - C-4.3	DETAILS
L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	LANDSCAPE PLAN



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT
1-800-632-4949

CONTACT THESE UTILITIES

CITY OF WILMINGTON, DEVELOPMENT SERVICES
ATTN: JIM DIEFENBROCK
PH: 910-341-3257
PIEDMONT NATURAL GAS
ATTN: PAUL GONKA
PH: 910-251-2810

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ATTN: FRANK STYERS
PH: 910-332-6970

DUKE ENERGY PROGRESS
ATTN: MARK A. HATFIELD
PH: 910-350-3428

AT&T
ATTN: STEVE DAYVAULT
PH: 910-341-6741
EMAIL: sd8994@att.com

TIME WARNER CABLE
PH: 910-763-4638

PREPARED BY:
PARAMOUNT ENGINEERING, INC.

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O), (910) 791-6760 (F)
NC License # C-2846
PROJECT # 14222.PE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____



REVISIONS:

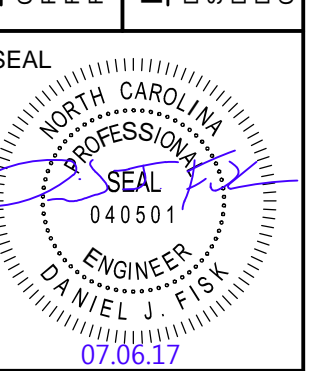
CLIENT INFORMATION:
Barclay Commons Retail, LLC
1111 Metropolitan Ave., Suite 700
Charlotte, NC 28204

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
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COVER SHEET
THE POINTE AT BARCLAY
PHASE I - BUILDING 4
'BARCLAY WEST TRACT B'
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST.:

DRAWING INFORMATION:
DATE: 07/06/17
AS NOTED
DESIGNED: DJF
DRAWN: DJF
CHECKED: DJF

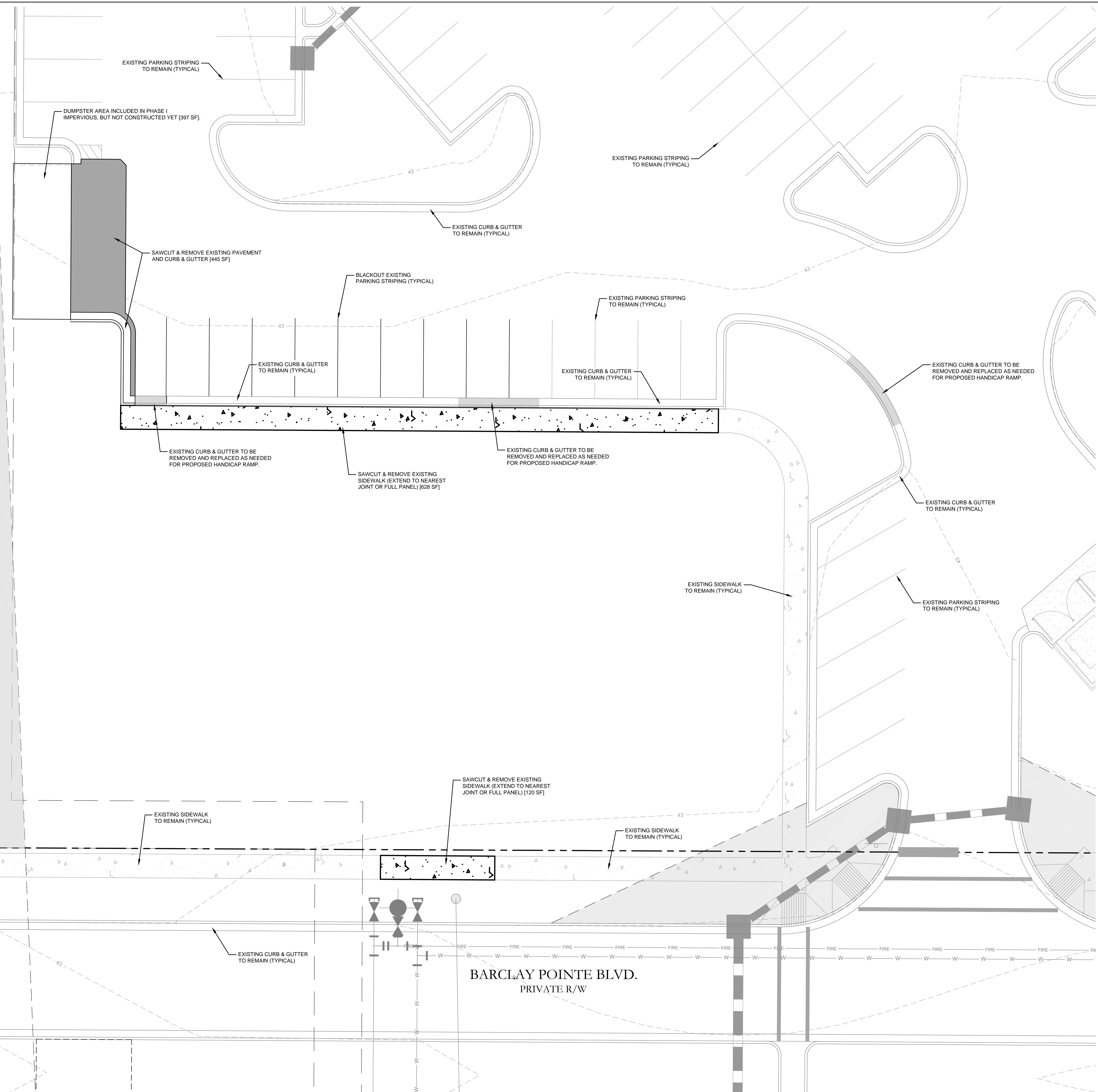


C-0.0

PEI JOB#: 14222.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

CITY OF WILMINGTON DRAINAGE EASEMENT
(MB 25, PG. 149)



NOTES:

- REFER TO THE PLAT TITLED 'SUBDIVISION PLAT, THE POINTE AT BARCLAY, INDEPENDENCE DRIVE - 17TH STREET, CITY OF WILMINGTON, NEW HANOVER COUNTY, NC' PREPARED BY PARAMOUNT ENGINEERING, INC. AND RECORDED IN THE NEW HANOVER COUNTY PUBLIC REGISTRY IN MAP BOOK 61, PAGES 127-129 FOR TRACT 1, TRACT 2 AND ASSOCIATED EASEMENT BEARING & DISTANCES.
- SEE OVERALL SITE PLAN (C-2.0) FOR PHASE I BUILDING 4 LOCATION RELATIVE TO THE OVERALL TRACT.
- TOPO SHOWN IS BOTH THE INITIAL FIELD SURVEY BY HANOVER DESIGN AND DESIGN GRADES FOR PHASE I AND PHASE II BUILDINGS 9 & 10 BY PARAMOUNT ENGINEERING. CONTRACTOR SHALL FIELD VERIFY AS BUILT ELEVATIONS.

NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	_____ GPD
DWO SEWER PERMIT #:	
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

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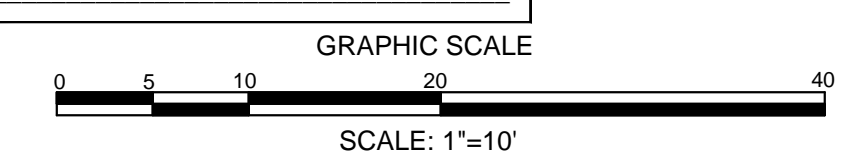
Planning _____

Traffic _____

Fire _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
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811
Know what's below.
Call before you dig.



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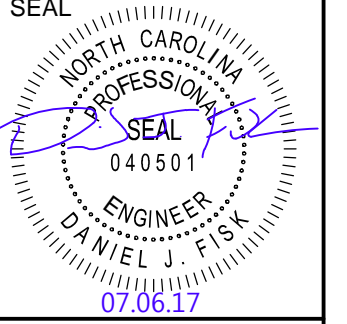
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NC License #: C-2846

SITE INVENTORY & DEMO PLAN
THE POINTE AT BARCLAY
PHASE I - BUILDING 4
'BARCLAY WEST TRACT B'
CITY OF WILMINGTON
NORTH CAROLINA

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PRELIMINARY LAYOUT:
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DRAWING INFORMATION
DATE: 07.06.17
DESIGNED: DJF
DRAWN: DJF
CHECKED: DJF



C-1.1

PEI JOB#: 14222.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

SITE INFORMATION:

PARCEL ID: R06500-003-004-000
 CURRENT ZONING: RB-CD & O&I 1-CD
 PROPOSED USE: MIXED USE
 TOTAL SITE AREA: 34.993 ACRES
 OWNER INFORMATION: BARCLAY COMMONS RETAIL, LLC
 1111 METROPOLITAN AVE, SUITE 700
 CHARLOTTE, NC 28204
 FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720312500J, DATED APRIL 3, 2006
 URBAN
 CAMA LAND USE CLASSIFICATION: LRBAN
 EASEMENTS: MB 51 PG 9-13 / MB 51 PG 261 / MB 25 PG 149 / MB 61 PG 127-129

TOTAL IMPERVIOUS AREA:
 EXISTING (PHASE I & II) (3-9-10): 752,313 SF
 EXISTING TO BE REMOVED: (1,590) SF
 BUILDINGS (PH I BLDG 4): 7,803 SF
 PAVEMENT (PH I BLDG 4): 950 SF
 SIDEWALKS (PH I BLDG 4): 2,476 SF
 TENANT PATIO AREAS (PH I BLDG 4): 1,195 SF
 FUTURE (REMAINING IMPERVIOUS): 321,344 SF
TOTAL: 1,084,491 SF
 ZONING ACREAGE: RB-CD: 34.21 AC
 O&I 1-CD: 0.77 AC

SITE TABULATIONS:

PH I BLDG 4 BUILDING SF: ± 7,290 GFA / ± 7,803 SF
 1 STORY (24.5' AVG HEIGHT, < 35' MAX HEIGHT) - 5 UNITS
 PERMITTED BUILDINGS: ± 88,529 GFA / ± 92,593 SF
 TRACT 1 BUILDINGS: ± 34,029 GFA / ± 36,962 SF
 TRACT 2 BUILDINGS: ± 54,500 GFA / ± 55,631 SF
 TOTAL BUILDING COVERAGE: (7,803 SF + 92,593 SF) / 34,993 AC = 6.6% COVERAGE
 TRACT 1 BUILDING COVERAGE: (7,803 SF + 36,962 SF) / 24,869 AC = 4.1% COVERAGE
 TRACT 2 BUILDING COVERAGE: (55,631 SF) / 10,124 AC = 12.6% COVERAGE

DIMENSIONAL REQUIREMENTS:

RB - REGIONAL BUSINESS
 - MINIMUM LOT AREA: 1 ACRE
 - MINIMUM LOT WIDTH: 100'
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM FRONT SETBACK: 0' (RB-CD)
 - MINIMUM REAR SETBACK: 15'
 - MINIMUM INTERIOR SIDE SETBACK: 0'
 - MINIMUM CORNER LOT SIDE SETBACK: 25'
 - MAXIMUM BUILDING HEIGHT: 35'
O&I 1 - OFFICE & INSTITUTIONAL 1
 - MINIMUM LOT AREA: 15,000 SF
 - MAXIMUM LOT COVERAGE: 40%
 - MINIMUM LOT WIDTH: 80'
 - MINIMUM FRONT SETBACK: 10'
 - MINIMUM REAR SETBACK: 20'
 - MINIMUM INTERIOR SIDE SETBACK: 10'
 - MINIMUM CORNER LOT SIDE SETBACK: 20'
 - MAXIMUM BUILDING HEIGHT: 45'
 PROPOSED SETBACKS (PER RESOLUTION OF MEMORANDUM OF UNDERSTANDING DATED 5/19/2015):
 - FRONT: 0'
 - REAR: 0'
 - INTERIOR SIDE: 0'
 - CORNER LOT SIDE: 0'

NOTES:

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- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY APPROVED PLANS, STANDARDS, AND SPECIFICATIONS.
- LIMITS OF DISTURBANCE:
 PREVIOUSLY PERMITTED - 71.16 AC (PERMITTED DURING PHASE I & PHASE II BUILDINGS 9 & 10 PLANS)
 4. IT IS POSSIBLE THAT CONSTRUCTION OF THE POINTE PHASE II BUILDINGS 9 & 10 MAY BE ONGOING AT THE TIME OF CONSTRUCTION AS DEPICTED ON THESE PLANS. CONTRACTOR SHALL COORDINATE WITH OWNER / OWNER'S REPRESENTATIVE SCHEDULE AND CONSTRUCTION ACTIVITIES TO MINIMIZE DELAYS OR INTERFERENCE WITH ANY OTHER CONTRACTORS OR SUBCONTRACTORS.
- PER HANOVER DESIGN SERVICES, P.A. SURVEY AND PLANS DATED 04.21.15 LAST REVISED 06.09.15. *404 WETLANDS DO NOT EXIST ON SITE PER U.S. CORPS OF ENGINEERS DETERMINATION. SEE ACTION SAW-2012-01938. DETERMINATION EXPIRATION DATE 01-18-2018.*
- PERMITTED EROSION CONTROL LIMITS OF DISTURBANCE TAKEN FROM BARCLAY WEST GALLERY PARK BOULEVARD PLANS PREPARED BY HANOVER DESIGN SERVICES, P.A. DATED 04.21.15 LAST REVISED 06.09.15, THE POINTE PHASE I PLANS PREPARED BY PARAMOUNT ENGINEERING, INC. DATED 08.04.15, LAST REVISED 11.23.15 & THE POINTE PHASE II BUILDINGS 9 & 10 PLANS PREPARED BY PARAMOUNT ENGINEERING DATED 09.08.16, LAST REVISED 03.06.17.
- THE EXISTING GRADES OF PHASE I SIDEWALKS, CURBS, ETC. HAVE BEEN TAKEN FROM THE DESIGN PLANS AND LIMITED FIELD SURVEY OF AS BUILT CONDITIONS. ALL GRADE TIE-INS, ROAD CONNECTIONS, AND UTILITY CONNECTIONS SHALL BE FIELD VERIFIED TO CONFIRM THAT THE AS-BUILT CONDITIONS MATCH THE DESIGN CONDITIONS AS DEPICTED. CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER SERVICES.
- FOR ADDITIONAL INFORMATION PERTAINING TO THE POINTE PHASE I AND PHASE II BUILDINGS 9 & 10, REFERENCE PARAMOUNT ENGINEERING PLANS PREVIOUSLY SUBMITTED TO THE CITY OF WILMINGTON.
- PROJECT SUBJECT TO CONDITIONS OF CONDITIONAL DISTRICT (CD-7-213) AND SRB APPROVAL (SRB-6-1215).

CITY STANDARD NOTES:

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERS TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY. TRAFFIC ENGINEERING MUST APPROVE OFF OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE MARKINGS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES ENTIRE RESURFACING OF THE OPEN CUT AREA MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK OR DRIVEWAY PANELS OR CURBING WILL BE REPLACED.
- CONTACT THE CITY AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITY AUTHORITY CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCOHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATION, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINES NOT PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910.341.0698.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGN DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO ANY DIGGING, CLEARING OR GRADING.
- ANY PVC MAINS ARE TO BE MARKED WITH NO 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPE WITH DUCT TAPE, AND STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. ACCESSIBLE IN ALL VALVE AND METER BOXES. ALL WATER MAINS ARE TO HAVE A MINIMUM OF 3 COVER.

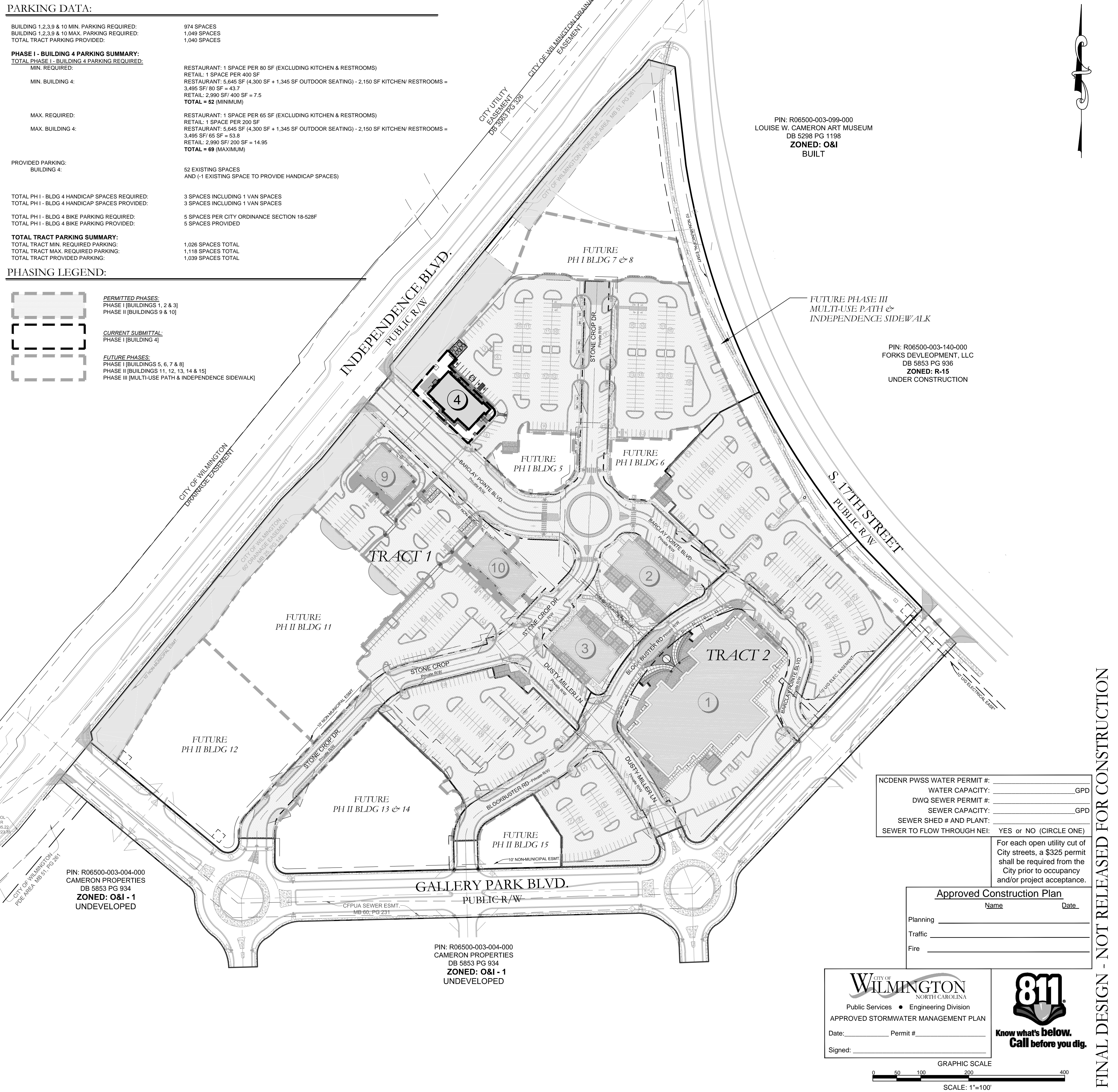
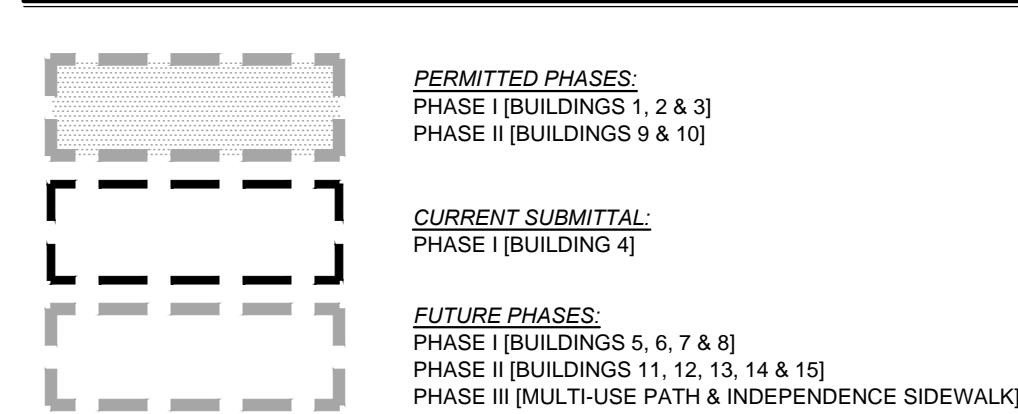
WATER & SEWER DEMAND:

WATER & SEWER DEMAND: (RESTAURANT = 40 GPD PER SEAT, RETAIL = 100 GPD PER 1,000 SF)
 PERMITTED FLOW IN PHASE I = 40,705 GPD (ALLOCATED TO BLDGS 2,3,4,7,9 & 10 AT TIME)
 BLDGS 2, 2' 9" & 10' PROJECTED FLOW = 31,715 GPD
 BLDG 4' PROJECTED FLOW = 8,452 GPD
 REMAINING PERMITTED FLOW = 538 GPD
 *CORE AND SHELL BUILDINGS, ASSUMPTIONS MADE ON END USER TENANT TYPE AND SIZE.

PARKING DATA:

BUILDING 1,2,3,9 & 10 MIN. PARKING REQUIRED: 974 SPACES
 BUILDING 1,2,3,9 & 10 MAX. PARKING REQUIRED: 1,049 SPACES
 TOTAL TRACT PARKING PROVIDED: 1,040 SPACES
PHASE I - BUILDING 4 PARKING SUMMARY:
 TOTAL PHASE I - BUILDING 4 PARKING REQUIRED: MIN. REQUIRED:
 MIN. BUILDING 4:
 MAX. BUILDING 4:
 MAX. BUILDING 4:
 PROVIDED PARKING: BUILDING 4:
 TOTAL PH I - BLDG 4 HANDICAP SPACES REQUIRED: 3 SPACES INCLUDING 1 VAN SPACES
 TOTAL PH I - BLDG 4 HANDICAP SPACES PROVIDED: 3 SPACES INCLUDING 1 VAN SPACES
 TOTAL PH I - BLDG 4 BIKE PARKING REQUIRED: 5 SPACES PER CITY ORDINANCE SECTION 18-526F
 TOTAL PH I - BLDG 4 BIKE PARKING PROVIDED: 5 SPACES PROVIDED
TOTAL TRACT PARKING SUMMARY:
 TOTAL TRACT MIN. REQUIRED PARKING: 1,026 SPACES TOTAL
 TOTAL TRACT MAX. REQUIRED PARKING: 1,108 SPACES TOTAL
 TOTAL TRACT PROVIDED PARKING: 1,039 SPACES TOTAL

PHASING LEGEND:



PIN: R06500-003-099-000
 LOUISE W. CAMERON ART MUSEUM
 DB 5298 PG 1198
ZONED: O&I BUILT

PIN: R06500-003-140-000
 FORKS DEVELOPMENT, LLC
 DB 5853 PG 936
ZONED: R-15 UNDER CONSTRUCTION

PIN: R06500-003-004-000
 CAMERON PROPERTIES
 DB 5853 PG 934
ZONED: O&I - 1 UNDEVELOPED

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 DB 5853 PG 934
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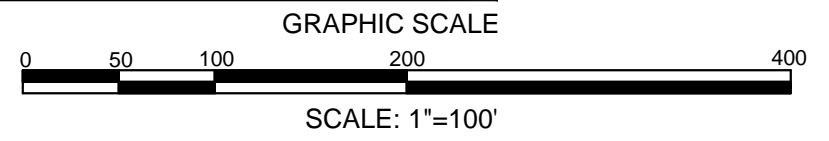
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Planning	
Traffic	
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WILMINGTON NORTH CAROLINA
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 Date: _____ Permit # _____
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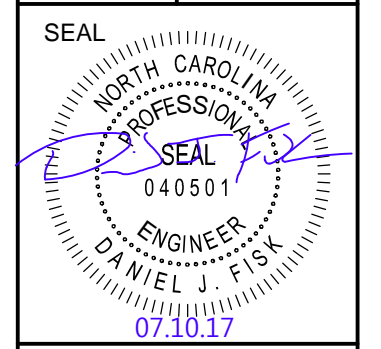
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OVERALL SITE PLAN
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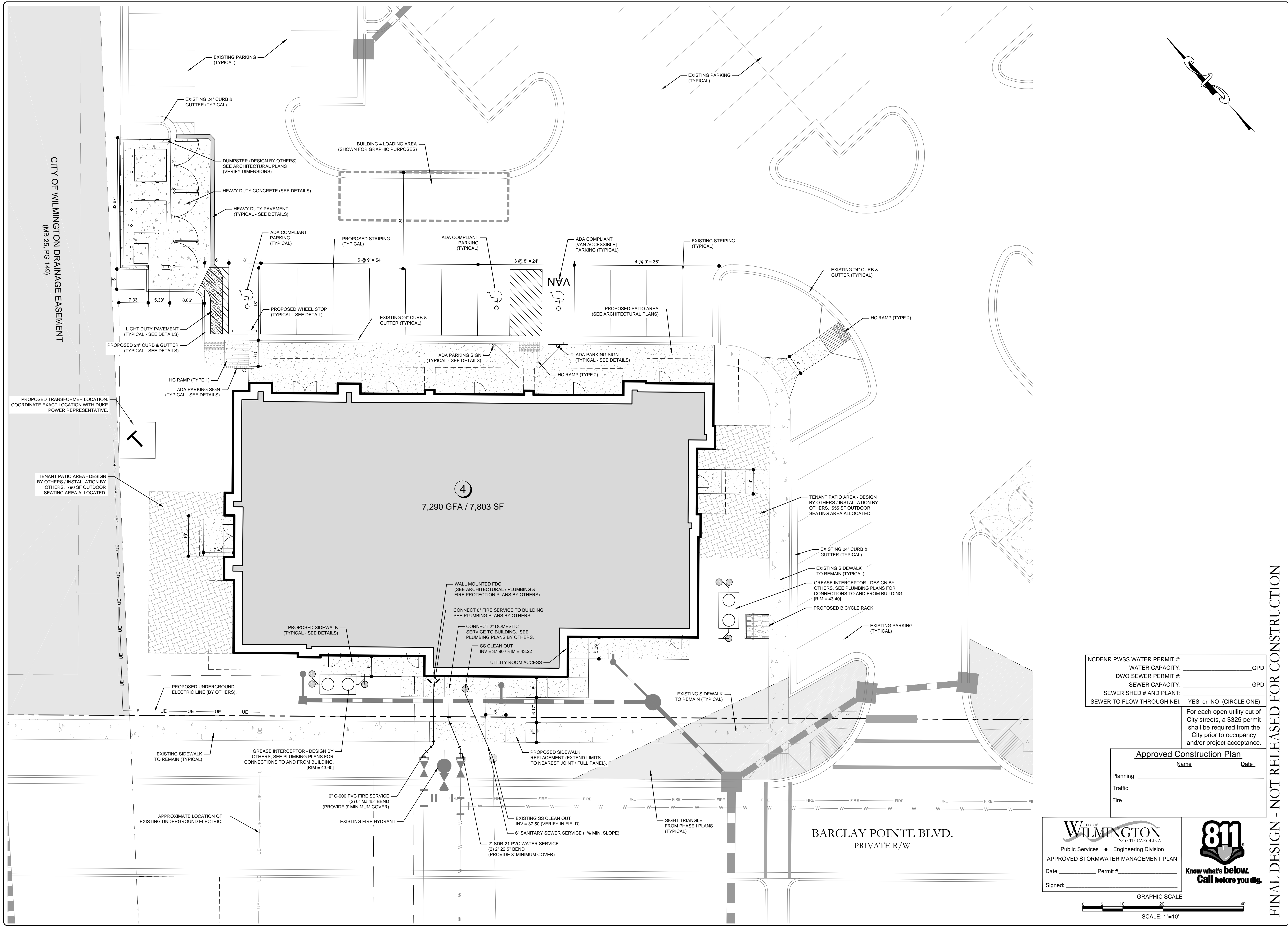
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 1" = 100' D.I.F.
 DRAWN: J.F.K.
 CHECKED: J.F.K.



C-2.0

PEI JOB#: 14222.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



CITY OF WILMINGTON DRAINAGE EASEMENT
(MB 25, PG. 149)

TENANT PATIO AREA - DESIGN BY OTHERS / INSTALLATION BY OTHERS. 750 SF OUTDOOR SEATING AREA ALLOCATED.

PROPOSED TRANSFORMER LOCATION COORDINATE EXACT LOCATION WITH DUKE POWER REPRESENTATIVE.

APPROXIMATE LOCATION OF EXISTING UNDERGROUND ELECTRIC.

GREASE INTERCEPTOR - DESIGN BY OTHERS. SEE PLUMBING PLANS FOR CONNECTIONS TO AND FROM BUILDING. [RIM = 43.60]

6" C-900 PVC FIRE SERVICE (2) 6" MJ 45° BEND (PROVIDE 3' MINIMUM COVER)

EXISTING FIRE HYDRANT

2" SDR-21 PVC WATER SERVICE (2) 2" 22.5° BEND (PROVIDE 3' MINIMUM COVER)

EXISTING SS CLEAN OUT INV = 37.50 (VERIFY IN FIELD)

6" SANITARY SEWER SERVICE (1% MIN. SLOPE)

WALL MOUNTED FDC (SEE ARCHITECTURAL / PLUMBING & FIRE PROTECTION PLANS BY OTHERS)

CONNECT 6" FIRE SERVICE TO BUILDING. SEE PLUMBING PLANS BY OTHERS.

CONNECT 2" DOMESTIC SERVICE TO BUILDING. SEE PLUMBING PLANS BY OTHERS.

SS CLEAN OUT INV = 37.90 / RIM = 43.22

UTILITY ROOM ACCESS

PROPOSED SIDEWALK REPLACEMENT (EXTEND LIMITS TO NEAREST JOINT / FULL PANEL)

EXISTING SIDEWALK TO REMAIN (TYPICAL)

EXISTING SIDEWALK TO REMAIN (TYPICAL)

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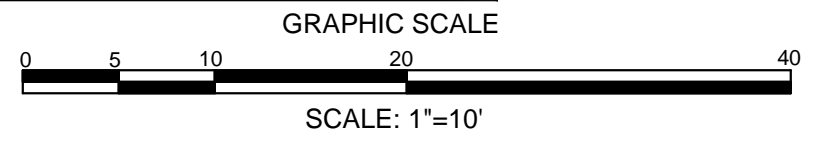
Name _____ Date _____

Planning _____

Traffic _____

Fire _____

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____



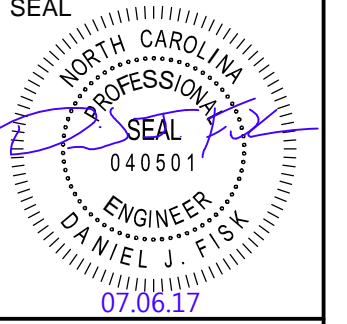
REVISIONS:

CLIENT INFORMATION:
Barclay Commons Retail, LLC
1111 Metropolitan Ave., Suite 700
Charlotte, NC 28204

PARAMOUNT
ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-0707 (O) (910) 791-6760 (F)
NC License #: C-2846

SITE & UTILITY PLAN
THE POINTE AT BARCLAY
PHASE I - BUILDING 4
'BARCLAY WEST TRACT' B'
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST.
DRAWING INFORMATION:
DATE: 07.06.17
SCALE: 1"=10'
DESIGNED: DJF
DRAWN: DJF
CHECKED: DJF



C-2.1

PEI JOB#: 14222.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

STORM SCHEDULE:

Upstream Node	Downstream Node	Diameter (in)	Upstream Invert	Downstream Invert	Pipe Length (ft)	Slope (%)	Upstream Rim Elev	Downstream Rim Elev	Pipe Material
MH-4-01	CB-402	12	38.53	38.25	28	1.00	42.78	41.47	HDPE
RD-4-02	MH-4-01	12	38.90	38.53	38	1.00	42.88	42.78	HDPE
DI-4-03	RD-4-02	12	39.40	38.90	49	1.00	42.70	42.88	HDPE
RD-4-04	DI-4-03	6	39.53	39.40	6	2.00	43.30	42.70	HDPE
RD-4-05	MH-4-01	6	39.31	39.03	14	2.00	43.76	42.78	HDPE
RD-4-06	RD-4-02	6	38.98	38.90	4	2.00	42.98	42.88	HDPE

EROSION CONTROL NOTES:

LIMITS OF DISTURBANCE / LIMITS OF CONTRACT = 0.5 ACRES*
 *THE ENTIRE LIMITS OF DISTURBANCE / LIMITS OF CONTRACT IS WITHIN THE OVERALL LIMITS OF DISTURBANCE PREVIOUSLY APPROVED UNDER PERMIT GP #20-14.
 THIS PLAN IS A MODIFICATION TO THE PREVIOUSLY APPROVED EROSION CONTROL PLANS, THE POINT AT BARCLAY (PHASE I AND PHASE II BUILDINGS 9 & 10 SUBMISSION) BY PARAMOUNT ENGINEERING, INC. AND THE BARCLAY WEST GALLERY PARK BOULEVARD PLANS BY HANOVER DESIGN SERVICES, PA.

NOTES:

- SEE GENERAL NOTES SHEET (C-1.0) FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES AND DETAILS FOR MORE INFORMATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH OWNER / OWNER'S REPRESENTATIVE REGARDING THE SITE'S EXISTING GRADE. EARTHWORK ACTIVITIES HAVE TAKEN PLACE AFTER THE TIME THE SURVEY SHOWN WAS COMPLETED AND CONTOURS SHOWN HAVE BEEN TAKEN FROM THE INITIAL SURVEY AND PHASE I GRADING DESIGN AND MAY NOT REFLECT AS-BUILT CONDITIONS.
- GEOTECHNICAL TESTING HAS BEEN PERFORMED ON-SITE BY ECS CAROLINAS, LLP (REFER TO REPORT). A GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION IN FILL AREAS.
- IT IS POSSIBLE THAT CONSTRUCTION OF PHASE II BUILDINGS 9 & 10 MAY BE ONGOING AT THE TIME OF CONSTRUCTION AS DEPICTED ON THESE PLANS. CONTRACTOR SHALL COORDINATE WITH OWNER / OWNER'S REPRESENTATIVE SCHEDULE AND CONSTRUCTION ACTIVITIES TO MINIMIZE DELAYS OR INTERFERENCE WITH ANY OTHER CONTRACTORS OR SUBCONTRACTORS.
- PER HANOVER DESIGN SERVICES, P.A. SURVEY AND PLANS DATED 04.21.15 LAST REVISED 06.09.15. *404 WETLANDS DO NOT EXIST ON SITE PER U.S. CORPUS OF ENGINEERS DETERMINATION. SEE ACTION SAW-2012-01938. DETERMINATION EXPIRATION DATE 01-18-2018.*
- THE PROPOSED GALLERY PARK BOULEVARD, WET DETENTION POND THE POINTE PHASE I AND PHASE II BUILDINGS 9 & 10 AS SHOWN HAVE BEEN TAKEN FROM A CAD FILE PROVIDED BY HANOVER DESIGN SERVICES, P.A. ON 06.04.15 AND DESIGN DOCUMENTS BY PARAMOUNT ENGINEERING. ALL GRADE TIE-INS, ROAD CONNECTIONS, AND UTILITY CONNECTIONS SHALL BE FIELD VERIFIED TO CONFIRM THAT THE AS-BUILT CONDITIONS MATCH THE DESIGN CONDITIONS AS DEPICTED. CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER WITH ANY DISCREPANCIES.
- SEE FINE GRADING PLAN (C-3.1).

ASPHALT AREA NOTE:

- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

BUILDING PAD NOTE:

- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

NOTATION:

CB = CATCH BASIN TC = TOP OF CURB ELEVATION
 DCB = DOUBLE CATCH BASIN BC = BOTTOM OF CURB (GUTTER) ELEVATION
 DI = DROP INLET PG = PROPOSED GRADE
 DDI = DOUBLE DROP INLET HP = HIGH POINT ELEVATION
 YI = YARD INLET (2-SIDE OPEN THROAT) SW = SIDEWALK ELEVATION
 MH = STORM MANHOLE FLUME = CONCRETE DRAINAGE FLUME FLOWLINE ELEVATION
 YD = YARD DRAIN RP = RAMP
 RD = ROOF DRAIN CONNECTION PAD = DUMPSTER PAD ELEVATION
 *PROVIDE IN-LINE CLEANOUT AND CONNECTION TO DOWNSPOUT - SEE ARCHITECTURAL & PLUMBING PLANS FOR DOWNSPOUT CONNECTIONS.
 *PROVIDE INSERT-A-TEE FOR RD-4-02.

STORMWATER MANAGEMENT WET POND NOTE:

TRACT B IS A PORTION OF THE OVERALL (107+- ACRES) DRAINAGE AREA THAT FLOWS TO THE BARCLAY WEST WET POND NO. 1. THE WET POND WAS DESIGNED AND PERMITTED THROUGH PLANS PREPARED BY HANOVER DESIGN SERVICES, PA AND SIGNED AND SEALED BY DAVID S. HOLLIS, PE (NCPCE 20007).

DRAINAGE NOTES:

- DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER OR HOA, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES.
- ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM, PER THE APPROVED PLANS.
- NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.
- ALL STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM.
- ALL CATCH BASIN (CB) RIM ELEVATIONS AND YARD INLET (YI) THROAT ELEVATIONS ARE LISTED AS THE 'GUTTER OF FLOWLINE ELEVATION' WITHIN THE CURB SECTION. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE STORM INLETS WITHIN THE CURB-LINE (SEE 'CURB TRANSITION' DETAIL). FOR CATCH BASINS WITHIN A TRANSITION FROM 24" STANDARD CURB & GUTTER, THE RIM ELEVATION GIVEN IS 1" INCH BELOW EOP.
- MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA; AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
- PROPOSED BUILDINGS SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.
- CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AREAS TO MATCH PROPOSED GRADES.
- THE CONTRACTOR SHALL USE EITHER RCP (CL III) OR HDPE PIPE FOR THE STORM DRAINAGE SYSTEM. IF THE CONTRACTOR CHOOSES TO USE HDPE PIPE, IT SHALL BE ADS N-12 WT STORM PIPE OR APPROVED EQUAL AND SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATATION IF HDPE PIPE IS CHOSEN.

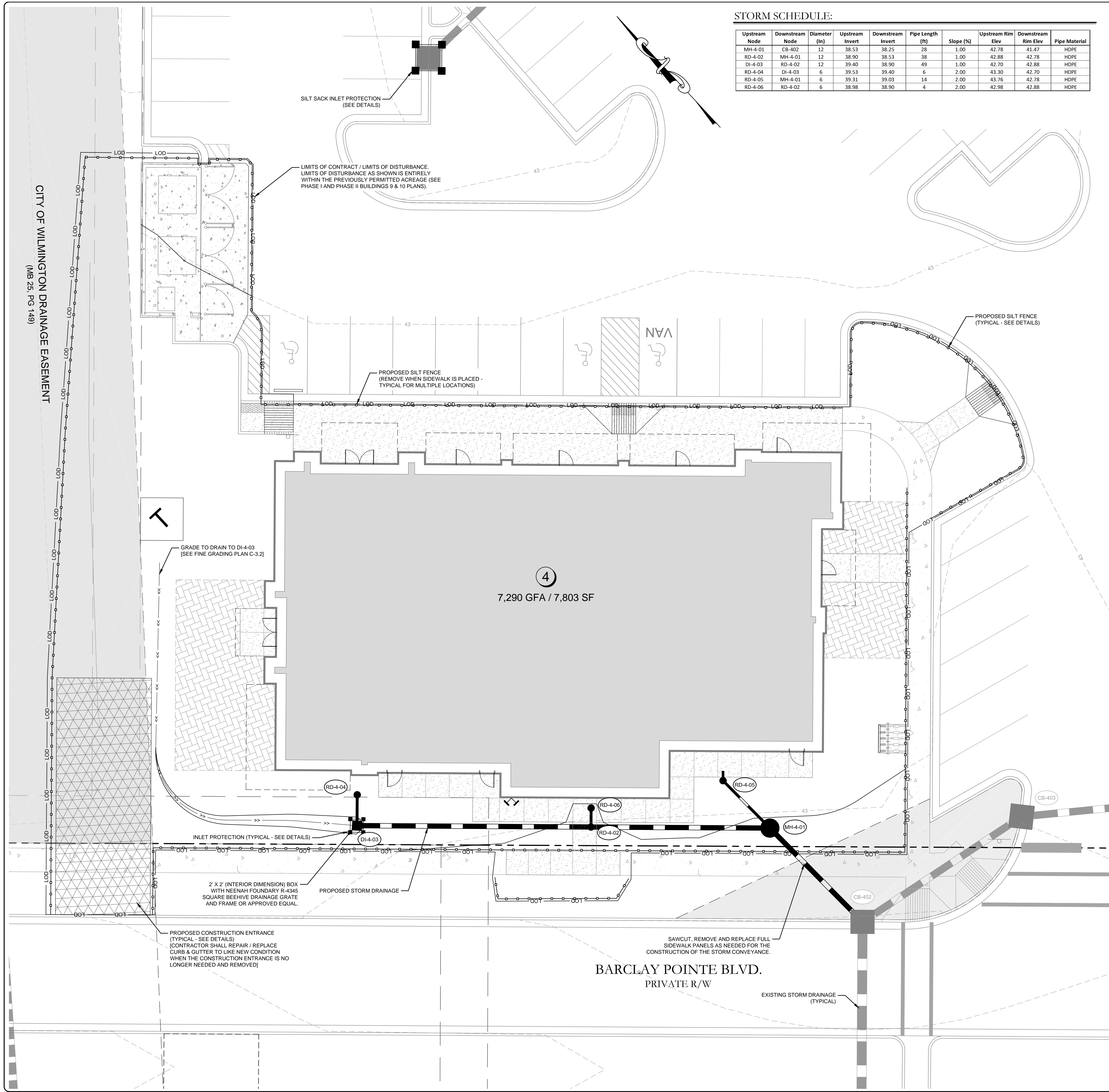
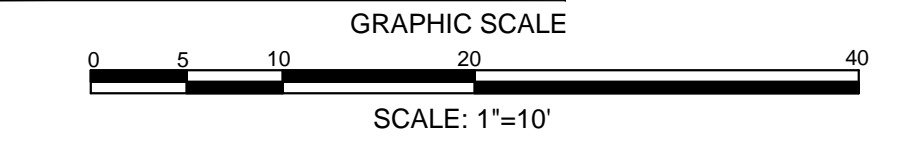
NCDENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

811
 Know what's below.
 Call before you dig.



REVISIONS:

CLIENT INFORMATION:
Barclay Commons Retail, LLC
 1111 Metropolitan Ave., Suite 700
 Charlotte, NC 28204

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

EC & DRAINAGE PLAN
THE POINTE AT BARCLAY
PHASE I - BUILDING 4
'BARCLAY WEST' TRACT B'
 CITY OF WILMINGTON
 NORTH CAROLINA

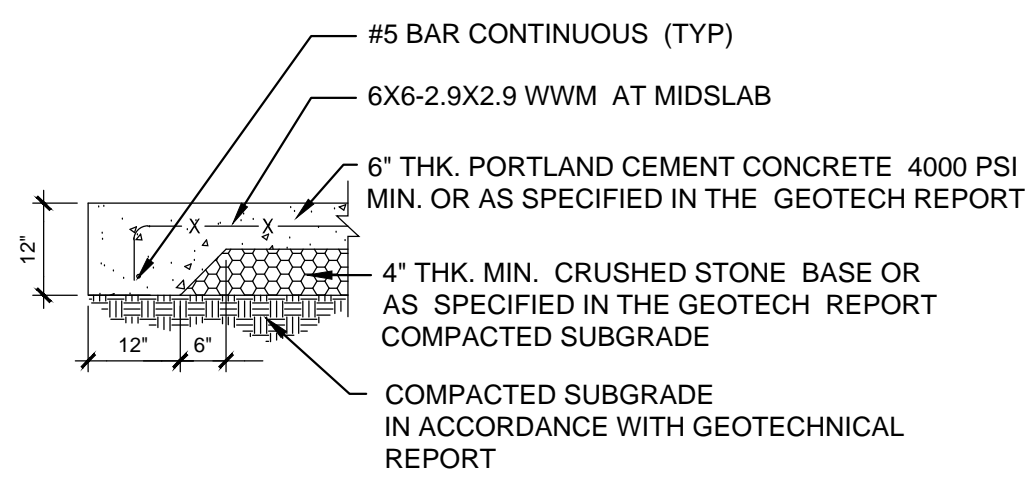
PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 PRELIMINARY LAYOUT:
 RELEASED FOR CONSTRUCTION:
 DRAWING INFORMATION:
 DATE: 07.06.17
 1" D.I.F.
 DESIGNED: _____
 DRAWN: _____
 CHECKED: _____

SEAL

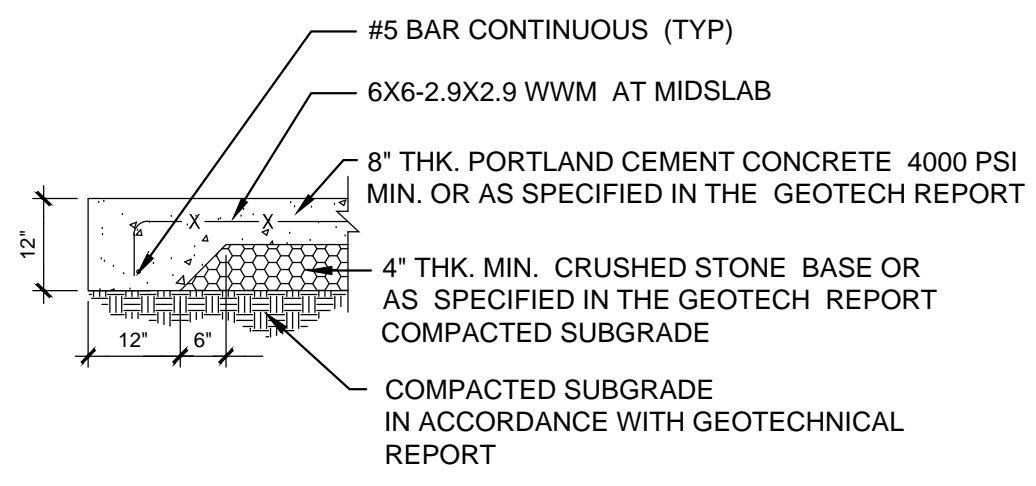
C-3.0
 PEI JOB#: 14222.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

CITY OF WILMINGTON DRAINAGE EASEMENT (MB 25, PG 149)

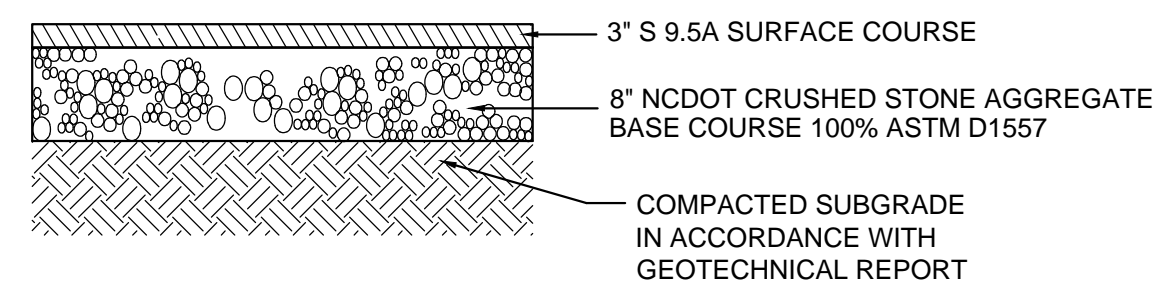


LIGHT DUTY CONCRETE PAVING SECTION
NOT TO SCALE



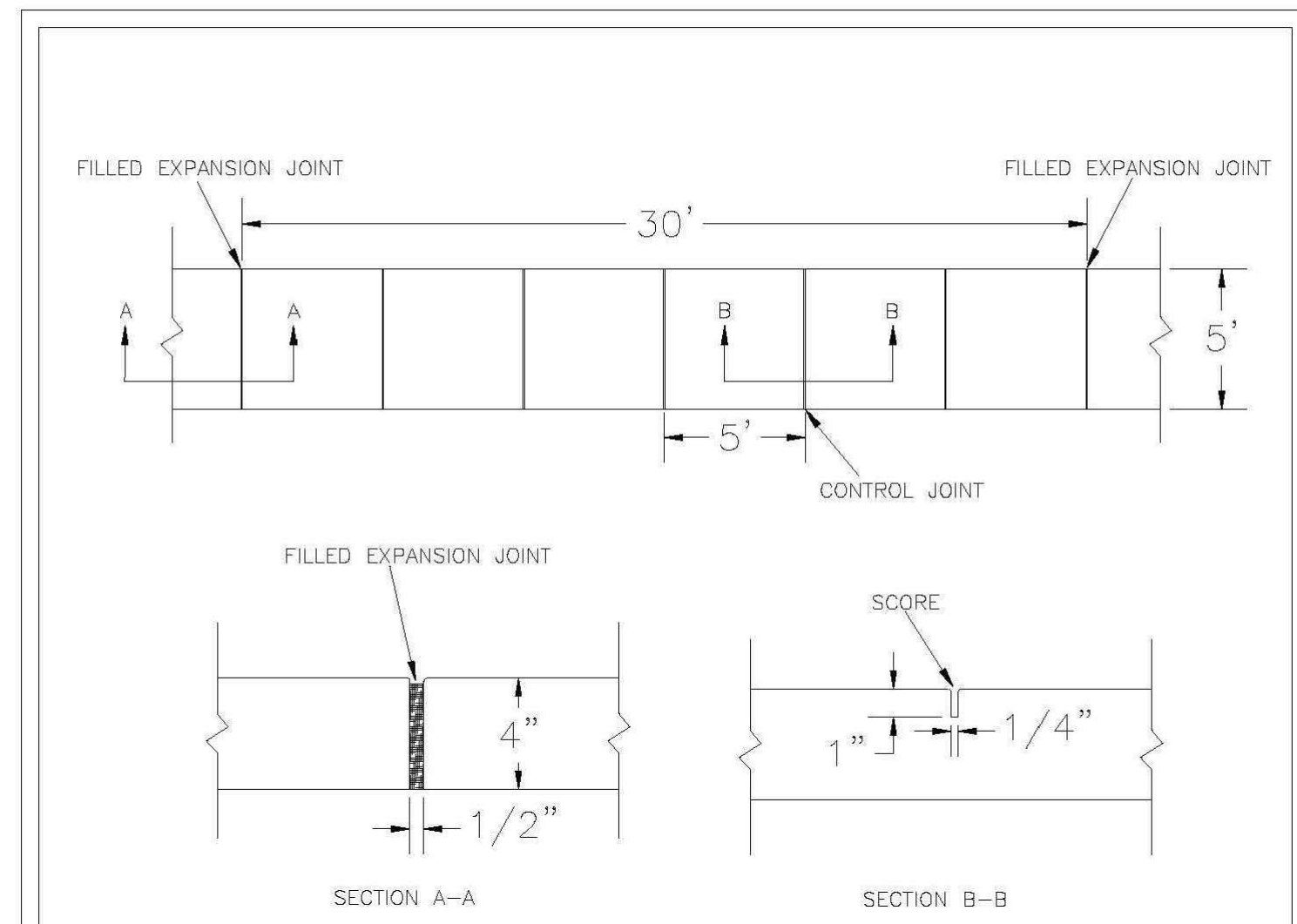
LIGHT DUTY ASPHALT PAVING SECTION
NOT TO SCALE

Notes: Pavement sections are the recommended sections per the Geotech Report prepared by ECS Carolinas, LLP and shall be augmented relative to field conditions during construction as recommended by Geotech.



HEAVY DUTY ASPHALT PAVING SECTION
NOT TO SCALE

Notes: Pavement sections are the recommended sections per the Geotech Report prepared by ECS Carolinas, LLP and shall be augmented relative to field conditions during construction as recommended by Geotech.



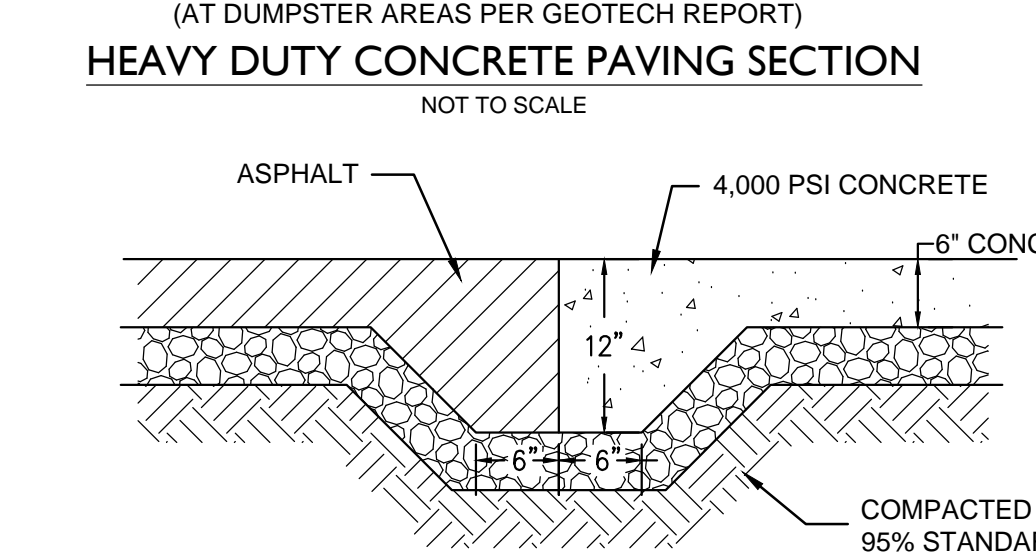
- NOTES:
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
 5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
 6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
 7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

DATE: OCTOBER 2010
DRAWN: P/B/S/R
CHECKED: DEC
SCALE: NOT TO SCALE

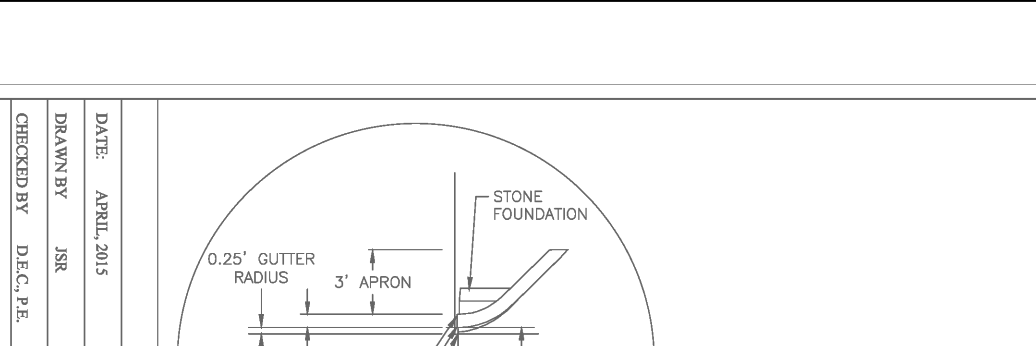
STANDARD DETAIL
SIDEWALK

WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON N.C. 28402
(910) 341-7807

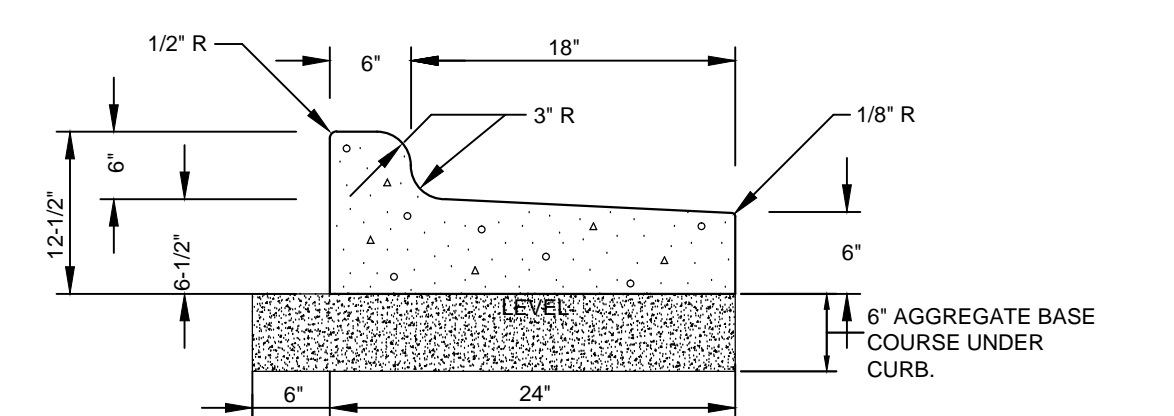
SD 3-10



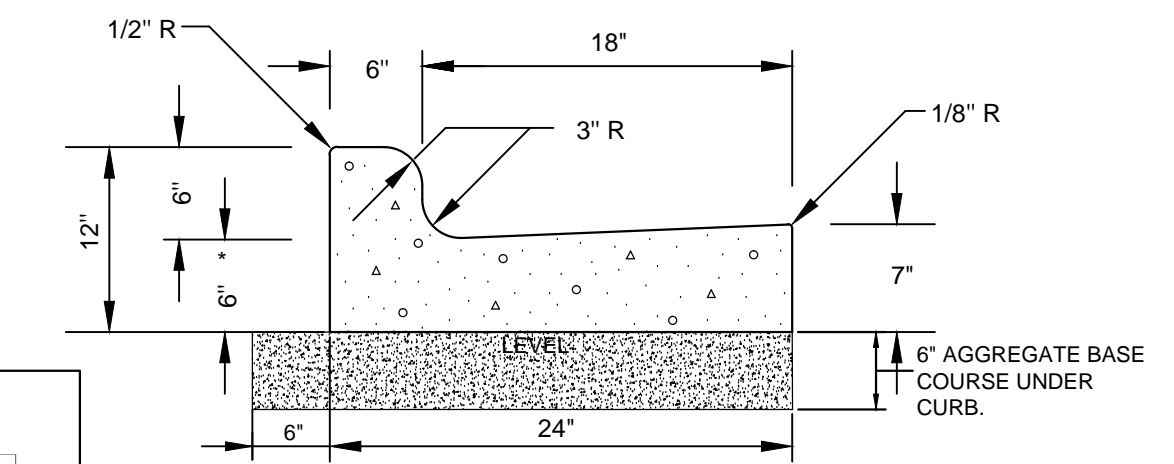
HEAVY DUTY CONCRETE PAVING SECTION
NOT TO SCALE



ASPHALT TO CONCRETE PAVEMENT TRANSITION
NOT TO SCALE

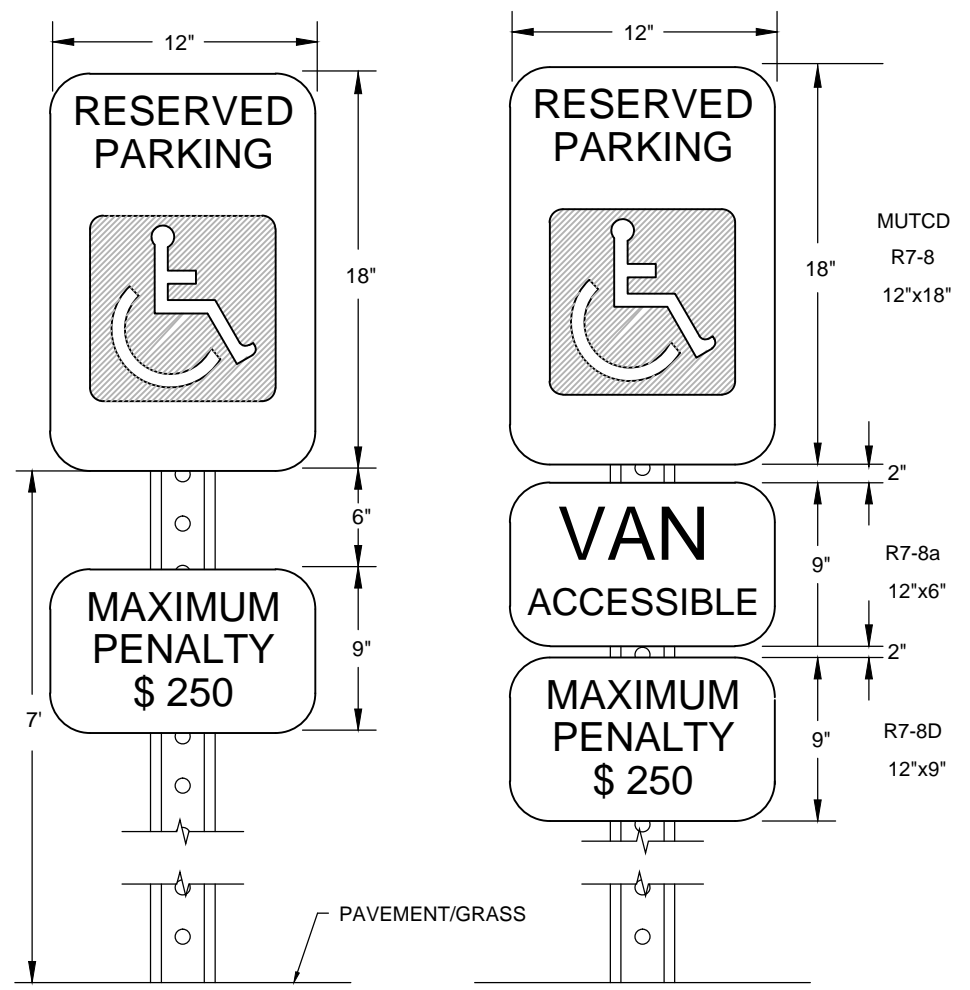


24" CURB AND GUTTER (REVERSE SLOPE)
NOT TO SCALE



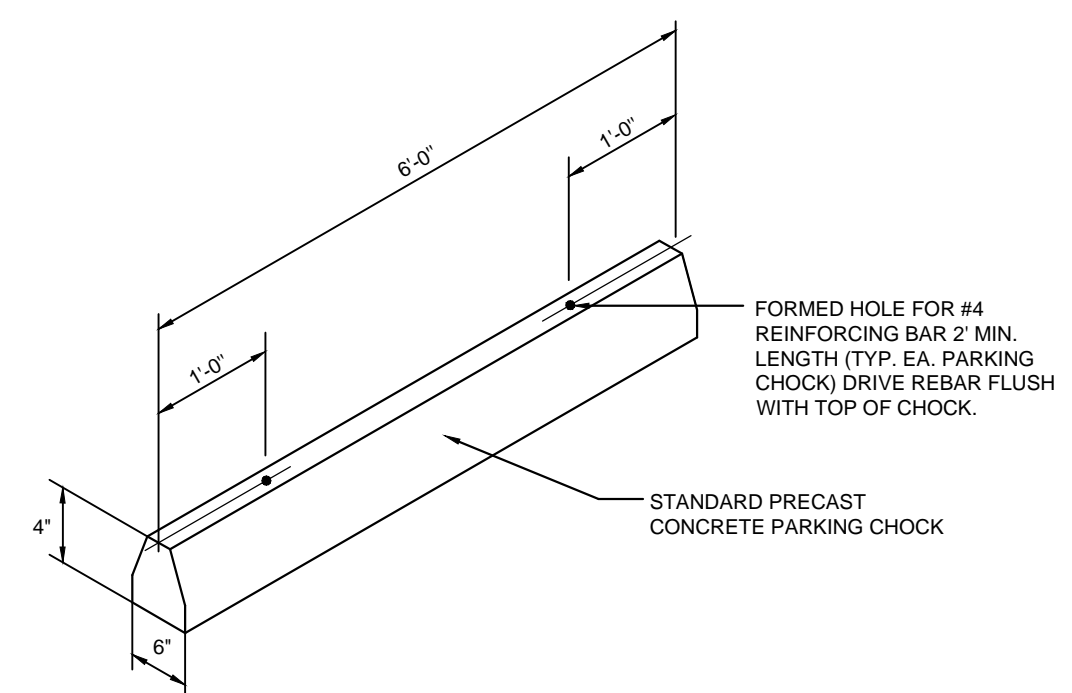
24" CURB AND GUTTER
NOT TO SCALE

GENERAL NOTES:
CONTRACTION JOINTS SHALL BE SPACED AT MAX. 10' INTERVALS, EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED. ALL CONTRACTION JOINTS EXCEPT IN 8' X 6' MEDIAN CURB SHALL BE FILLED WITH JOINT SEALER. EXPANSION JOINTS SHALL BE SPACED AT 90' INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



- NOTES:**
1. METAL POST AND ALL HARDWARE SHALL BE GALVANIZED STEEL, ASTM A307-90.
 2. POST HOLES SHALL BE FILLED WITH GRANULAR BACKFILL IN 3-INCH TO 4-INCH LIFTS.
 3. THOROUGHLY HAND TAMP EACH LIFT AND CROWN BACKFILL AT TOP TO SHED WATER.
 4. CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
 5. SIGNS SHALL BE CONSTRUCTED OF ALUMINUM, TYPE 6061-T6 AND IN CONFORMANCE WITH ASTM STD B-209. THICKNESS SHALL BE 0.80 INCHES.
 6. TOP EDGE TREATMENT FILM SHALL BE 3" WIDE, CLEAR AND TRANSPARENT WITH A SUB-RESISTANT PRESSURE SENSITIVE NON-YELLOWING ADHESIVE, "SKOTCHCAL" TRANSPARENT FILE #639.
 7. REFLECTIVE FACING MATERIAL SHALL BE SCOTCHLITE HIGH INTENSITY, MANUFACTURED BY 3M COMPANY.
 8. SIGN LETTERING SHALL BE NPS MODIFIED CLERENDON TYPEFACE. UPPERCASE LETTERS SHALL BE 3.75" HEIGHT AND LOWERCASE LETTERS SHALL BE 2.5" HEIGHT WITH 3.75" SPACING BETWEEN LINES.
 9. CORNER RADIUS OF SIGNS SHALL BE 2.5" ARROWS SHALL BE 5.625" LONG BY 3.75" HIGH.
 10. MOUNT ON BUILDING OR METAL POST AS DIRECTED.

HANDICAP SIGN DETAIL
NOT TO SCALE



WHEEL STOP
NOT TO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

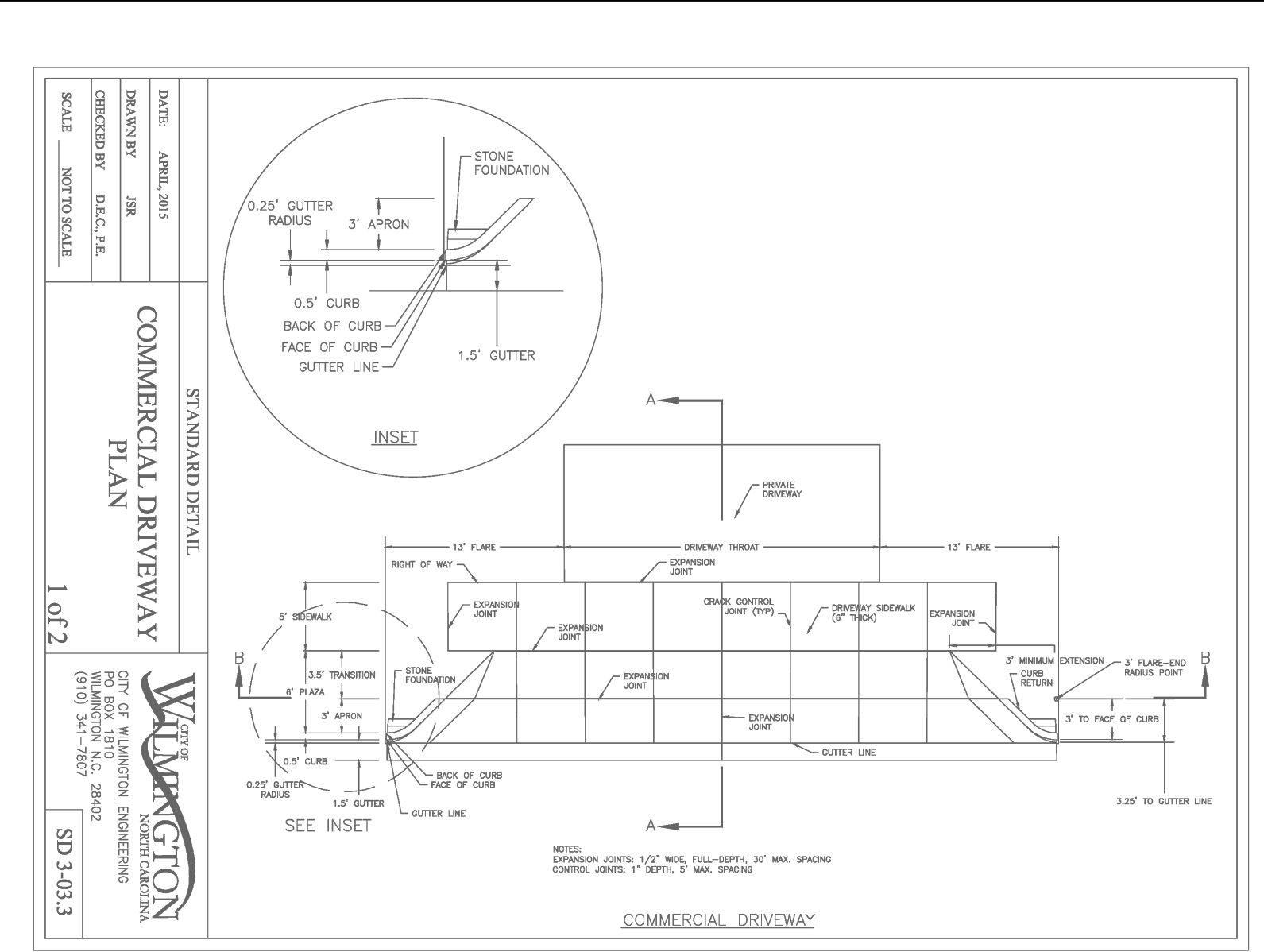
NCDENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWO SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____

WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____



LINE TYPE	WIDTH / OFFSET
EDGE LINE	4" / 6"
YELLOW OR WHITE	
LANE LINE	4" / 6"
WHITE	
CENTER LINE	4" / 6"
YELLOW	
GORE LINE	8" / 12"
WHITE	
DIAGONAL LINE	12" 45 MPH OR HIGHER 8" LESS THAN 45 MPH
CROSSWALK LINE	8" TRANSVERSE 24" LONGITUDINAL
WHITE	
RxR LINE	18"
WHITE	
STOP OR TRANSVERSE BAR	24"
WHITE	

GENERAL NOTES:
1- USE 6" LANE, EDGE, AND CENTER LINES ON ALL FULL CONTROL OF ACCESS FACILITIES AND OTHER ROUTES AS DIRECTED BY THE ENGINEER.
2- LANE LINES INDICATED AS "WIDE" ON THE ROADWAY STANDARD DRAWINGS SHALL BE AT LEAST TWICE THE WIDTH OF THE NORMAL LINE.
3- GORE LINES SHALL BE TWICE THE WIDTH OF THE NORMAL LINE.

ROADWAY TYPE	LINE TYPE	WIDTH / OFFSET
TWO-WAY UNDIVIDED ROADWAY	EDGE LINE OFFSET DETAIL	SEE TABLE 1
	CENTER LINE OFFSET DETAIL	SEE TABLE 1
	LANE LINE OFFSET DETAIL	SEE TABLE 1
	MULTI-LANE ROADWAY	SEE TABLE 1

TABLE 1
EDGE LINE OFFSETS FOR 2 LANE, 2-WAY ROADWAYS WITH UNPAVED SHOULDERS

WIDTH (W) OF TRAVEL PAVEMENT	MAX. EDGE LINE OFFSET FROM E.O.T.	MINIMUM LANE WIDTH (M)
16' - 18'	2"	8'
18'	4"	9.5'
20'	6"	10'
22'	8"	10.5'
24'	10"	11'
26'	12"	11.5'
28'	14"	12'
30'	16"	12.5'
32'	18"	13'

LEGEND
 - - - WIDTH OF TRAVEL LANE
 E.O.T. = EDGE OF TRAVEL
 - - - DIRECTION OF TRAFFIC FLOW

REVISIONS:

CLIENT INFORMATION:
Barclay Commons Retail, LLC
1111 Metropolitan Ave., Suite 700
Charlotte, NC 28204

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

DETAILS THE POINTE AT BARCLAY PHASE I - BUILDING 4 BARCLAY WEST TRACT B CITY OF WILMINGTON NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST.

DRAWING INFORMATION:
DATE: 07.08.17
AS NOTED
D.W.F.
D.J.F.
C.H.K.

SEAL
NORTH CAROLINA PROFESSIONAL ENGINEER
040501
07.06.17

C-4.0
PEI JOB#: 14222.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

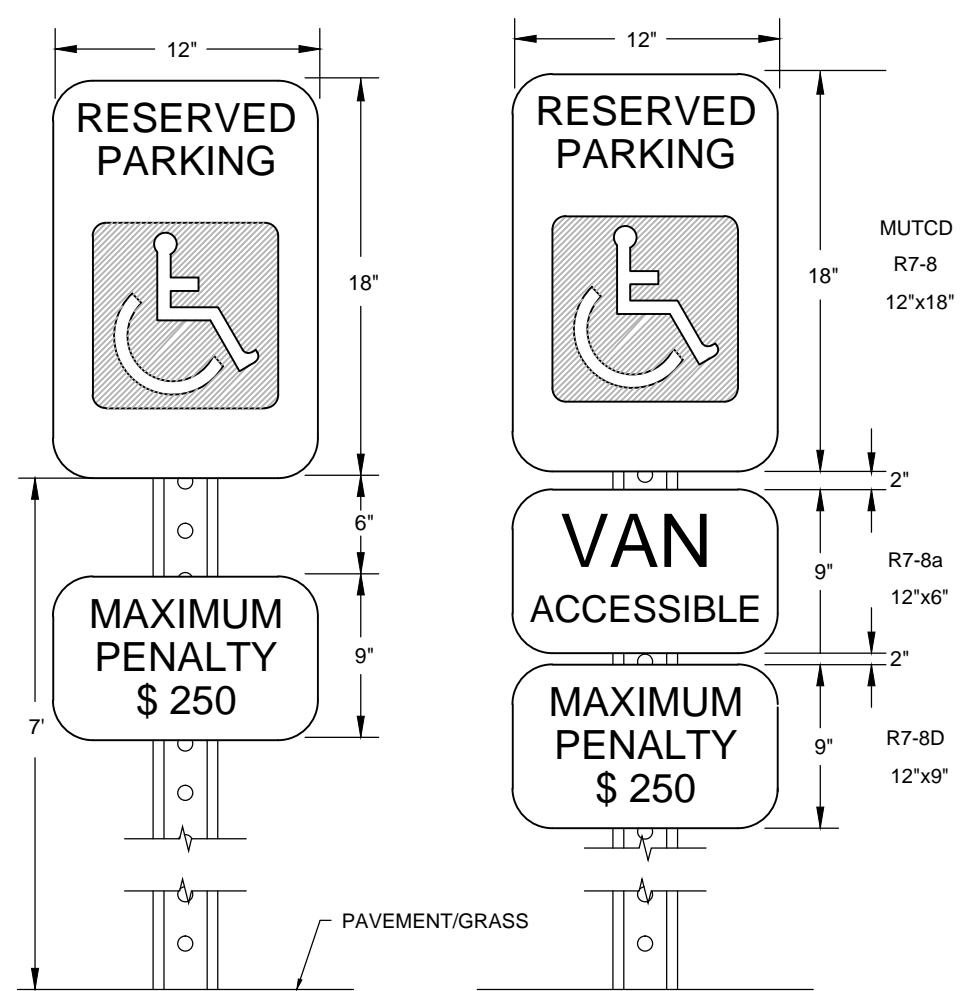
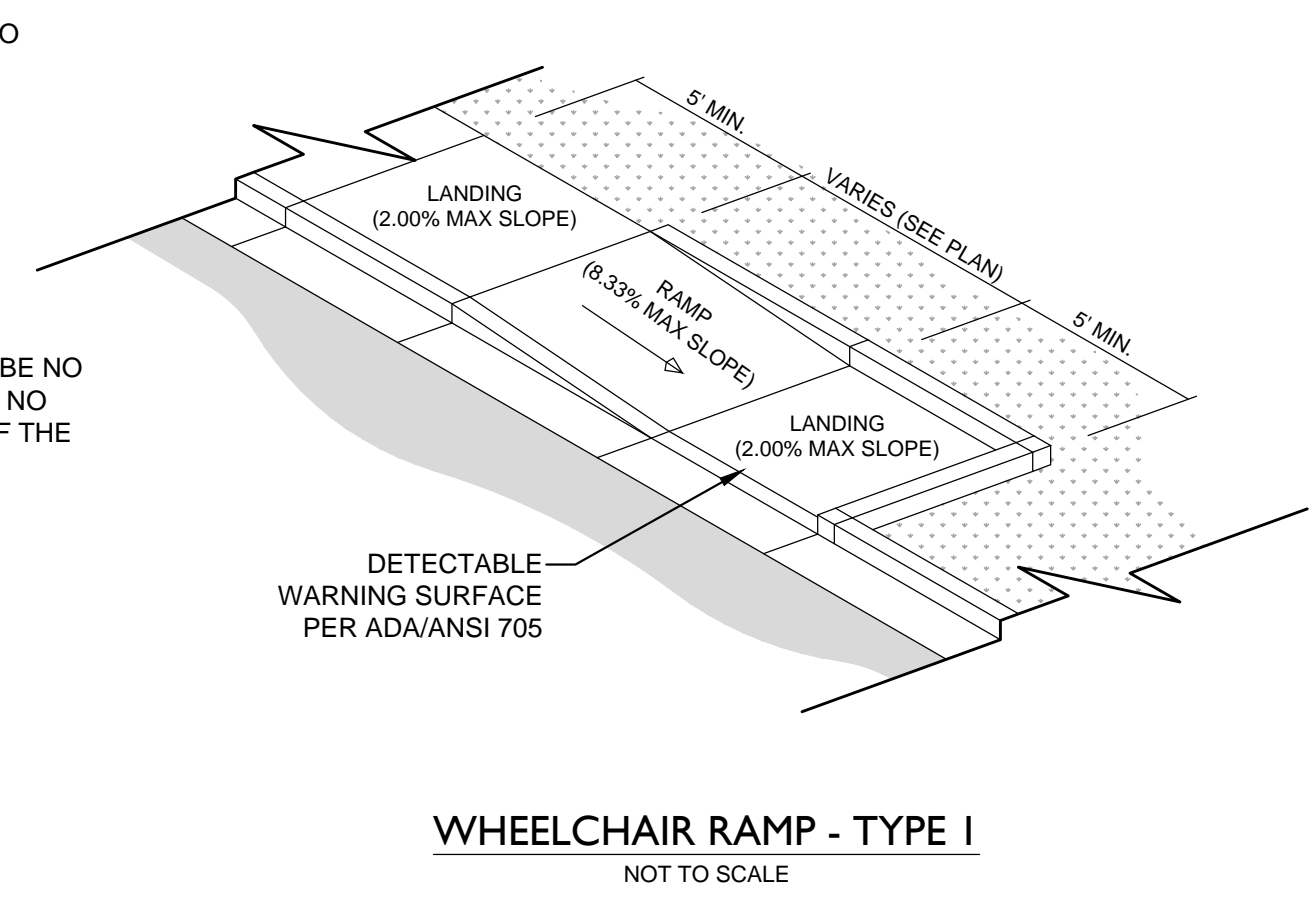
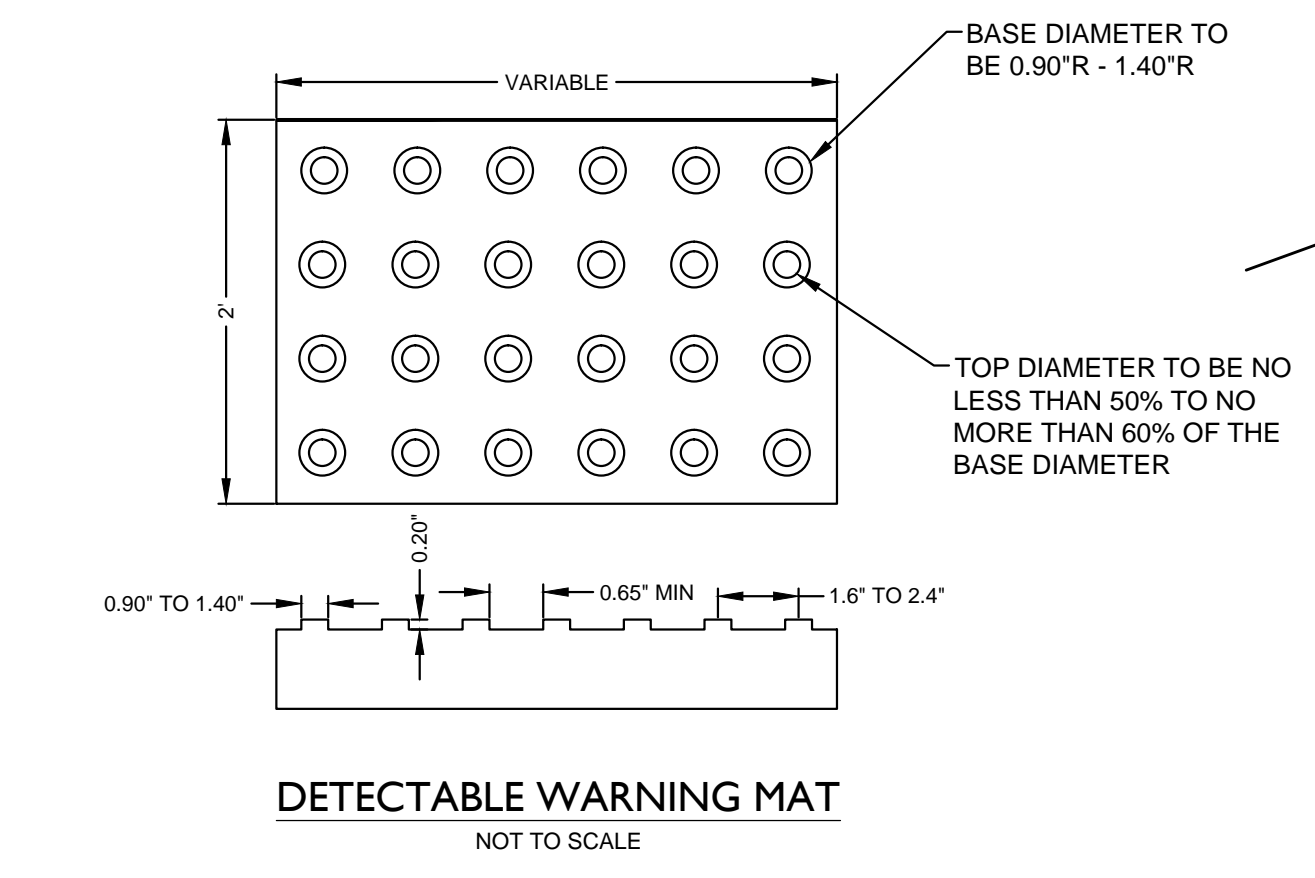
STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
WILMINGTON, N.C.

ENGLISH STANDARD DRAWING FOR
CURB RAMPS
NOTES

NOTES:
1. CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
2. LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
3. COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
4. SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
5. REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
6. TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
7. CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.
8. CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
9. ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
10. CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
11. CONSTRUCT THE COUNTER SLOPE OF THE CUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
12. CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 6'x6' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
13. TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
14. SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 6'x6' LANDING AT THE TOP OF A RAMP, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
15. CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
16. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01
17. PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE MUTCD.
18. CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

ENGLISH STANDARD DRAWING FOR
CURB RAMPS
NOTES

848.05



- NOTES:
1. METAL POST AND ALL HARDWARE SHALL BE GALVANIZED STEEL, ASTM A307-90.
2. POST HOLES SHALL BE FILLED WITH GRANULAR BACKFILL IN 3-INCH TO 4-INCH LIFTS.
3. THOROUGHLY HAND TAMP EACH LIFT AND CROWN BACKFILL AT TOP TO SHED WATER.
4. CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
5. SIGNS SHALL BE CONSTRUCTED OF ALUMINUM, TYPE 6061-T6 AND IN CONFORMANCE WITH ASTM STD B-209. THICKNESS SHALL BE 0.80 INCHES.
6. TOP EDGE TREATMENT FILM SHALL BE 3" WIDE, CLEAR AND TRANSPARENT WITH A SUB-RESISTANT PRESSURE SENSITIVE NON-YELLOWING ADHESIVE, "SKOTCHAL" TRANSPARENT FILM #639.
7. REFLECTIVE FACING MATERIAL SHALL BE SCOTCHLITE HIGH INTENSITY, MANUFACTURED BY 3M COMPANY.
8. SIGN LETTERING SHALL BE NPS MODIFIED CLARENDON TYPEFACE. UPPERCASE LETTERS SHALL BE 3.75" HEIGHT AND LOWERCASE LETTERS SHALL BE 2.5" HEIGHT WITH 3.75" SPACING BETWEEN LINES.
9. CORNER RADIUS OF SIGNS SHALL BE 2.5" ARROWS SHALL BE 5.625" LONG BY 3.75" HIGH.
10. MOUNT ON BUILDING OR METAL POST AS DIRECTED.

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
WILMINGTON, N.C.

ENGLISH STANDARD DRAWING FOR
CURB RAMP
PROPOSED CURB AND CUTTER

ISOMETRIC VIEW

SECTION A-A

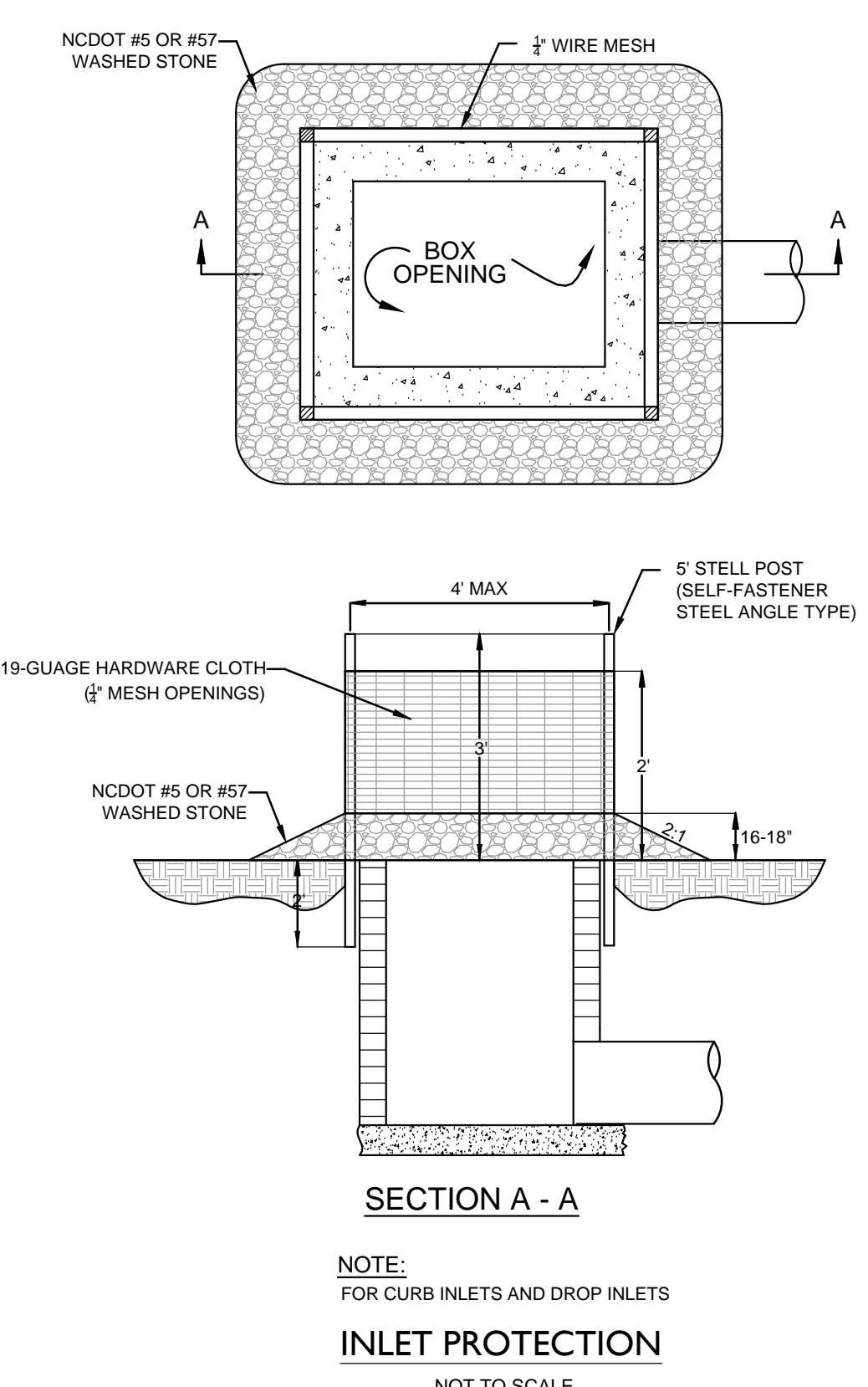
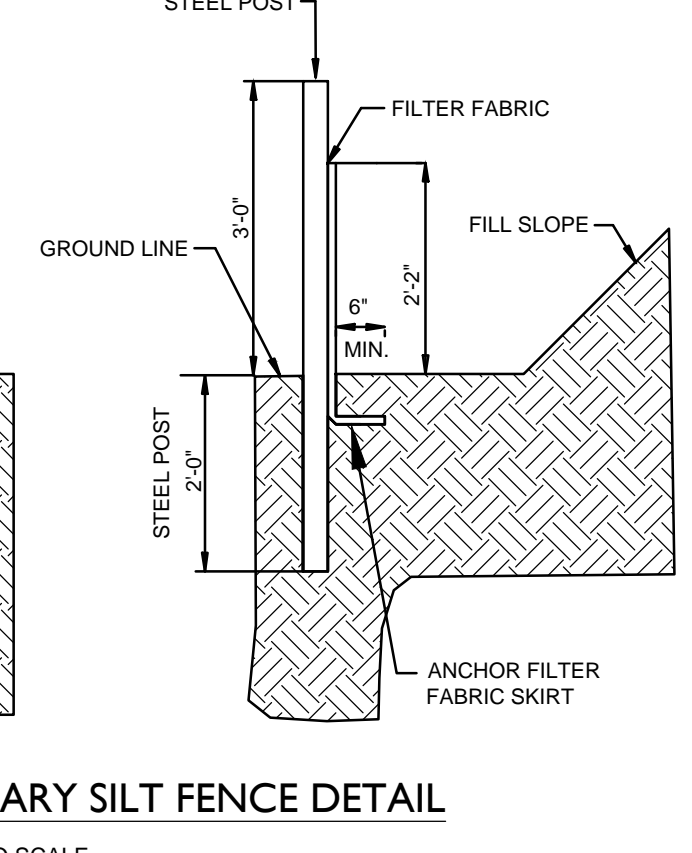
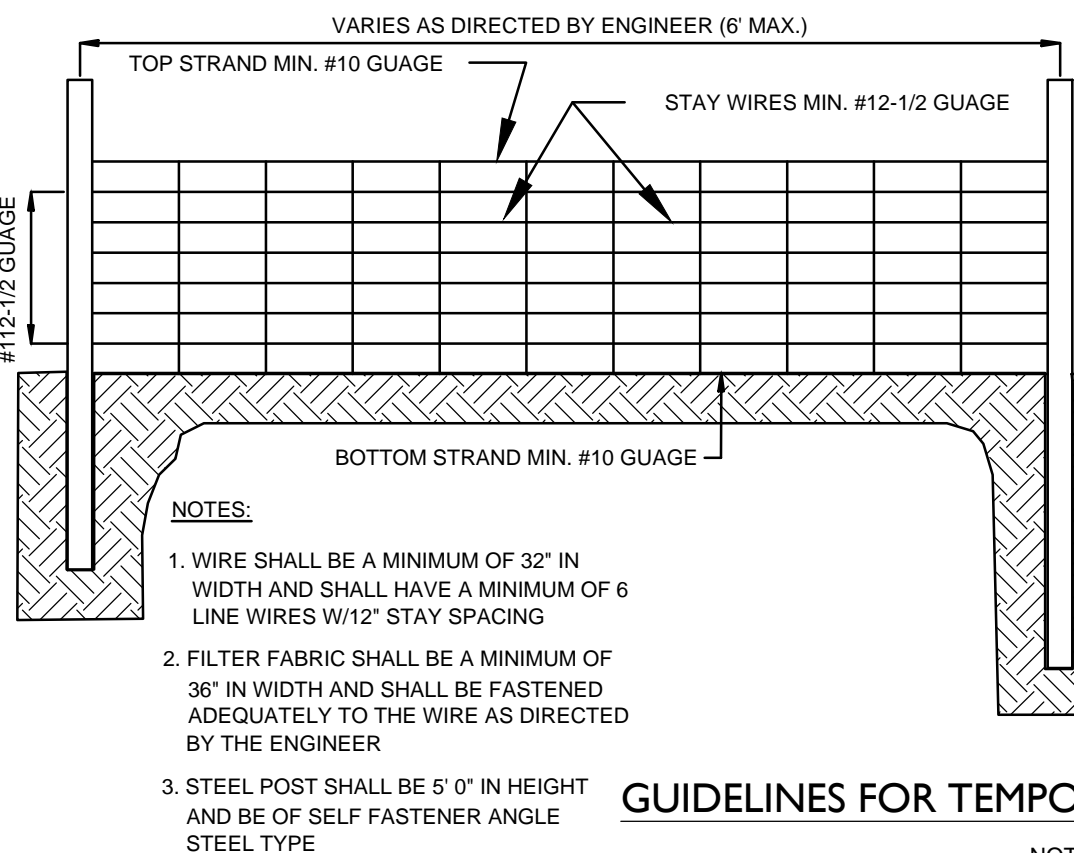
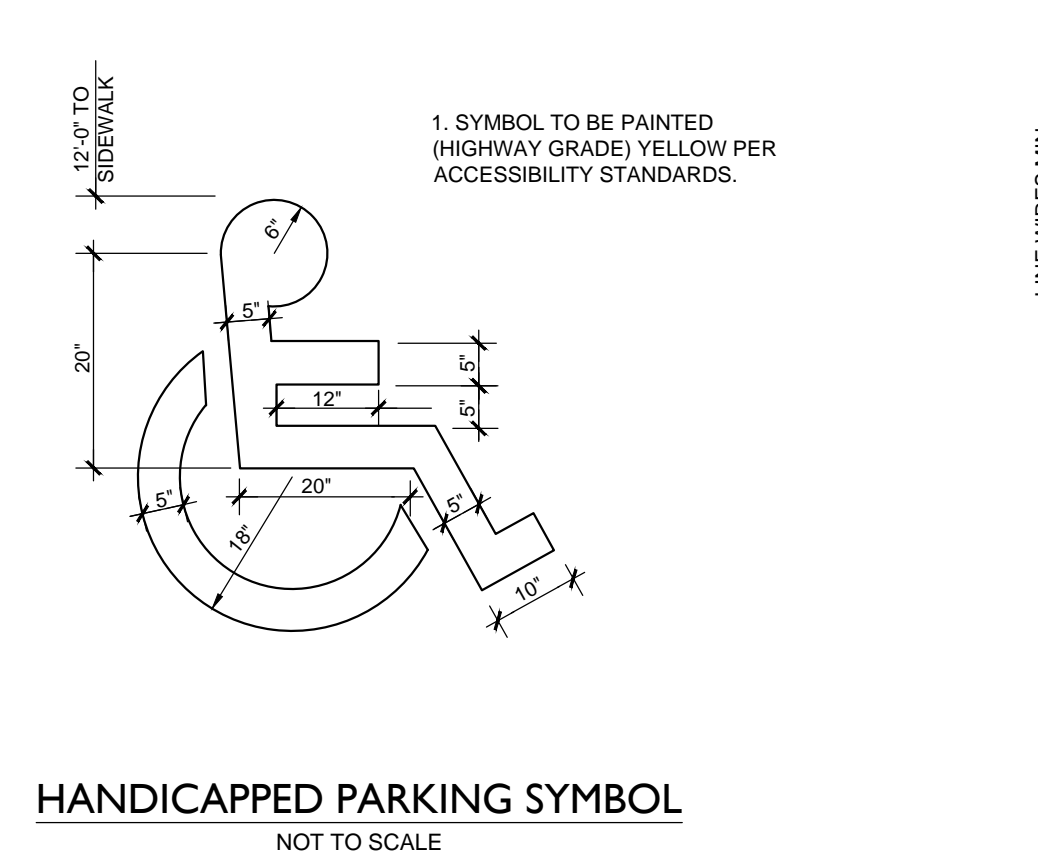
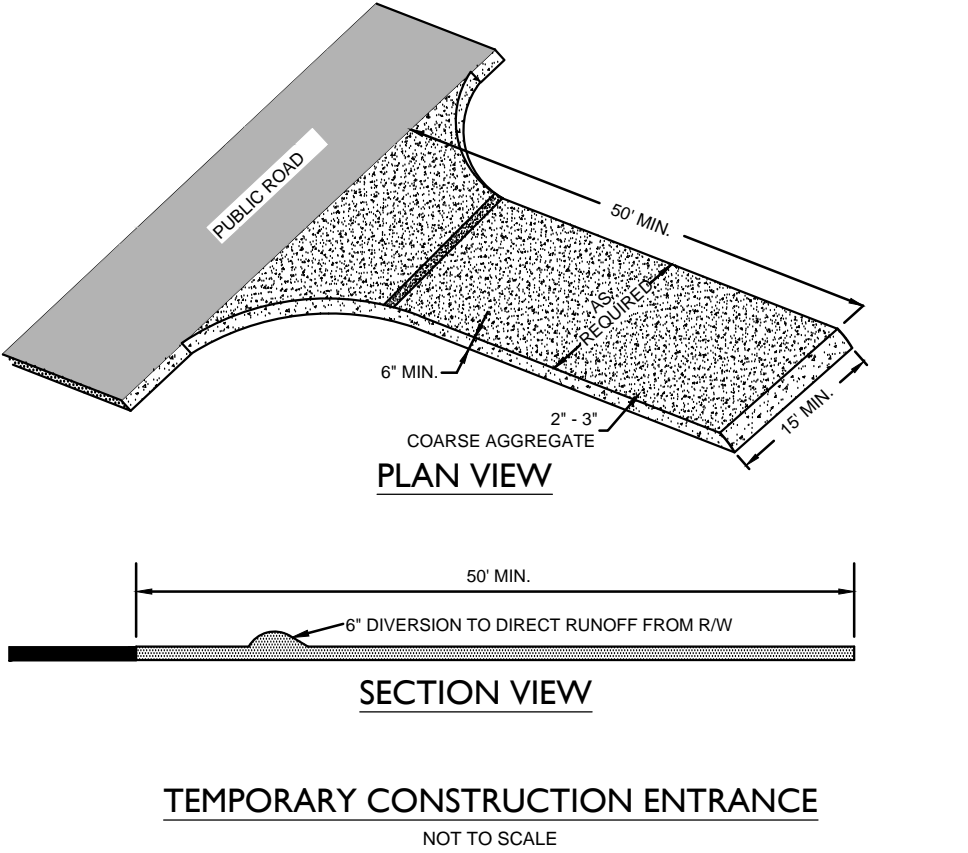
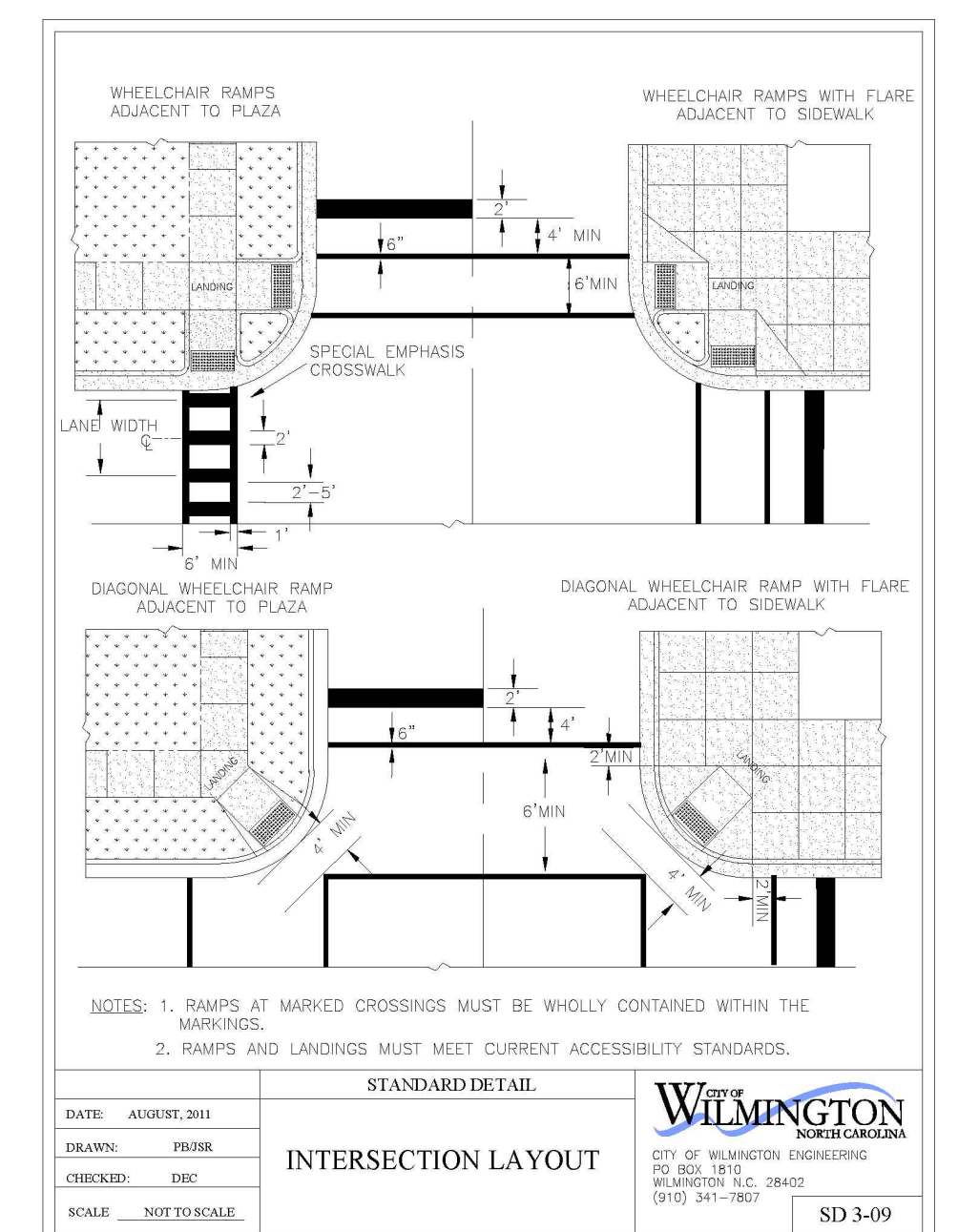
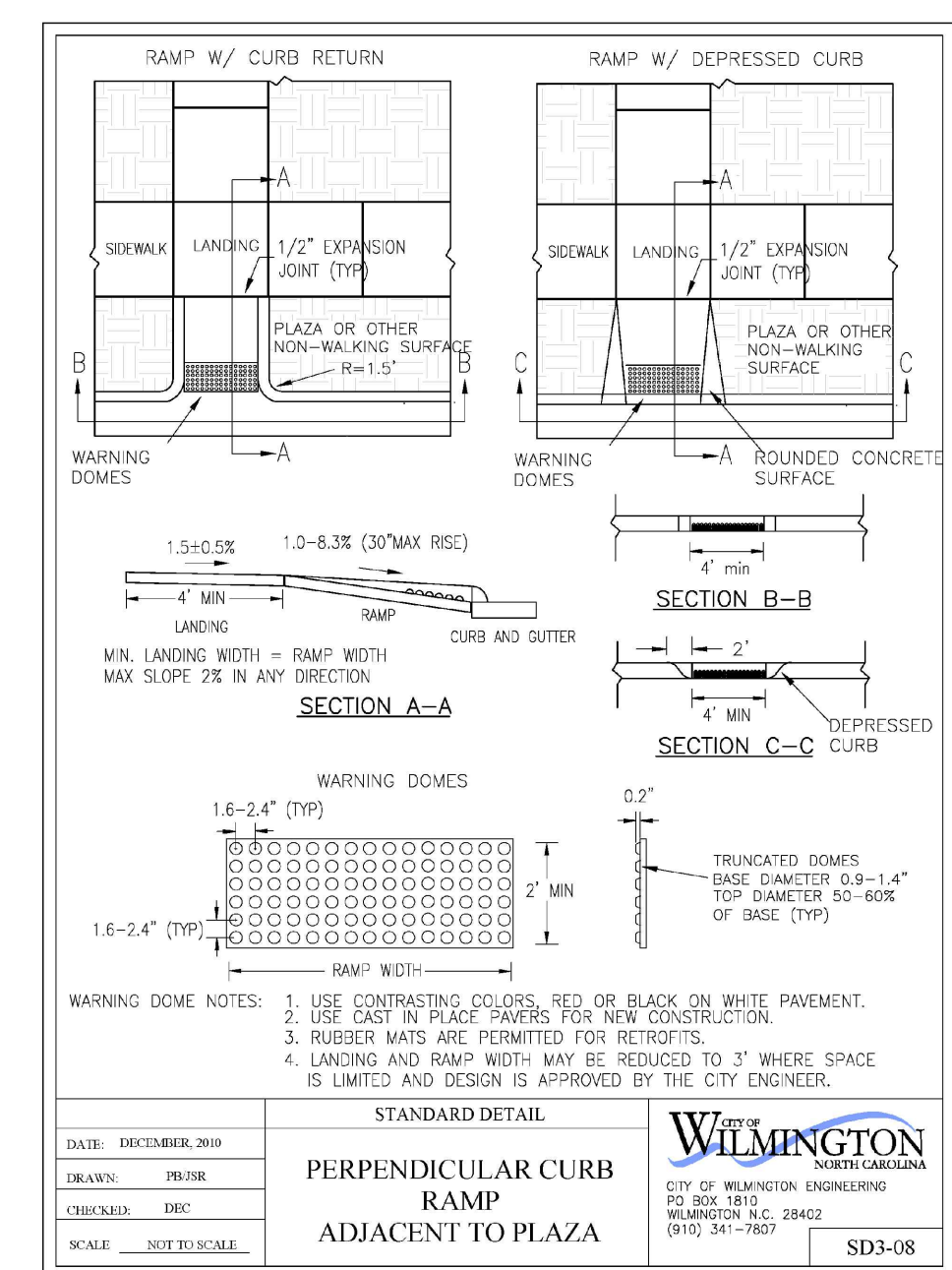
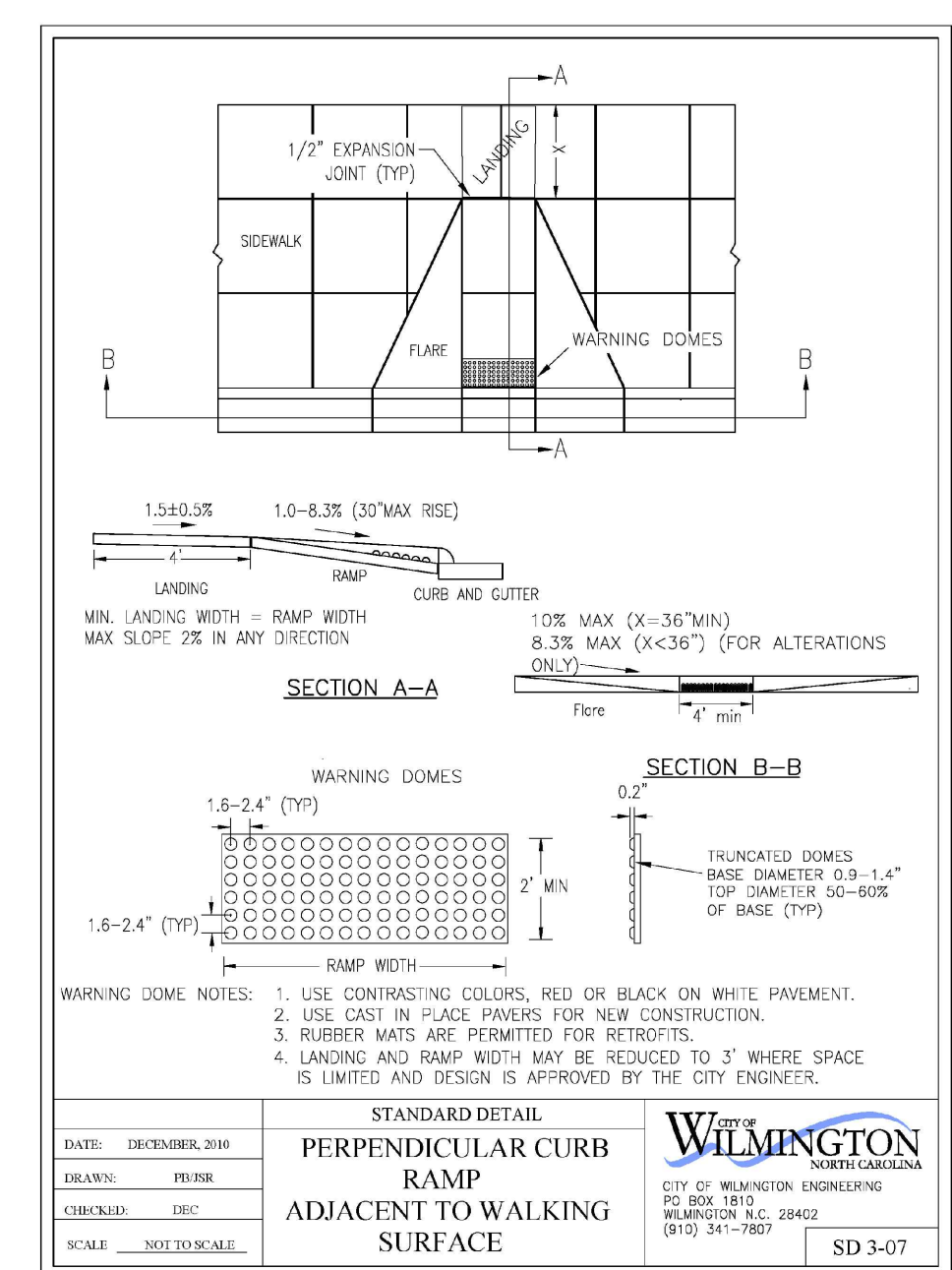
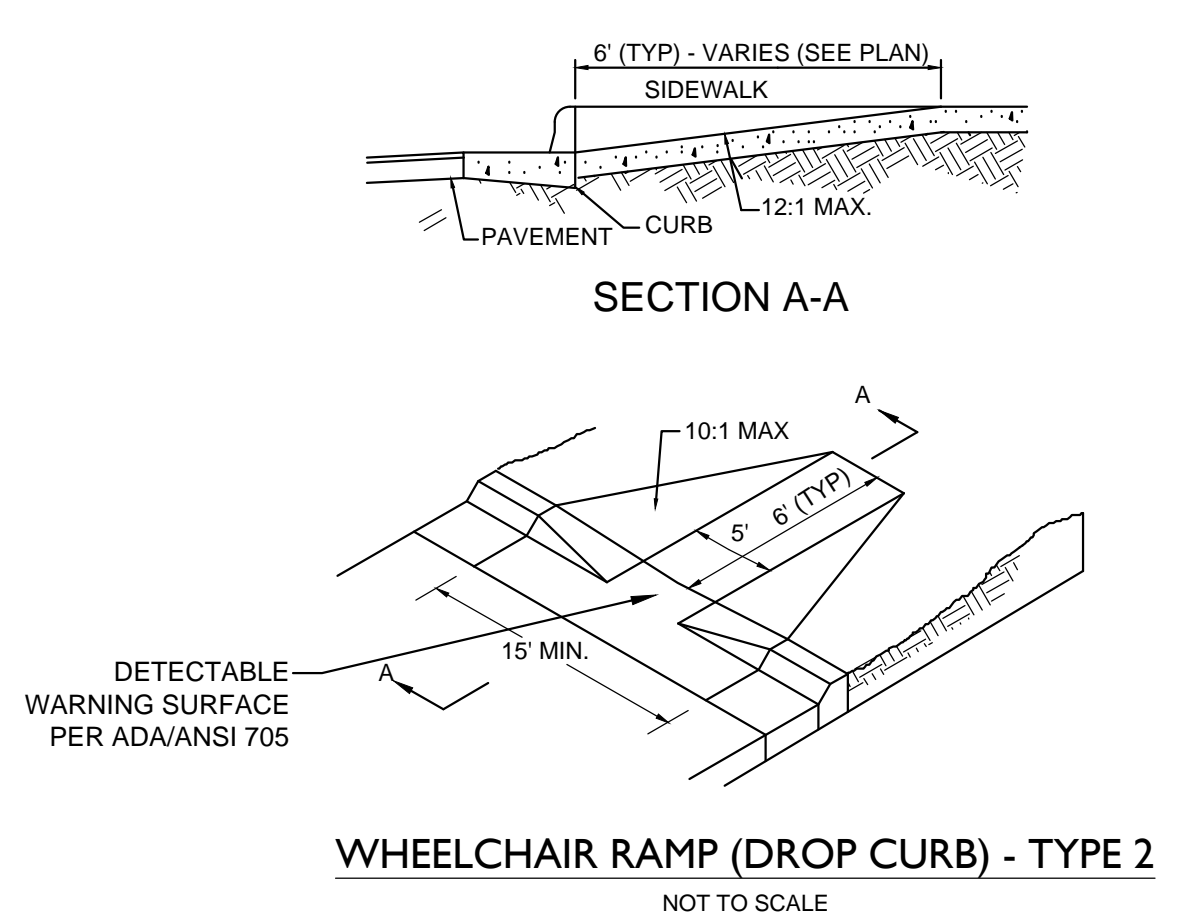
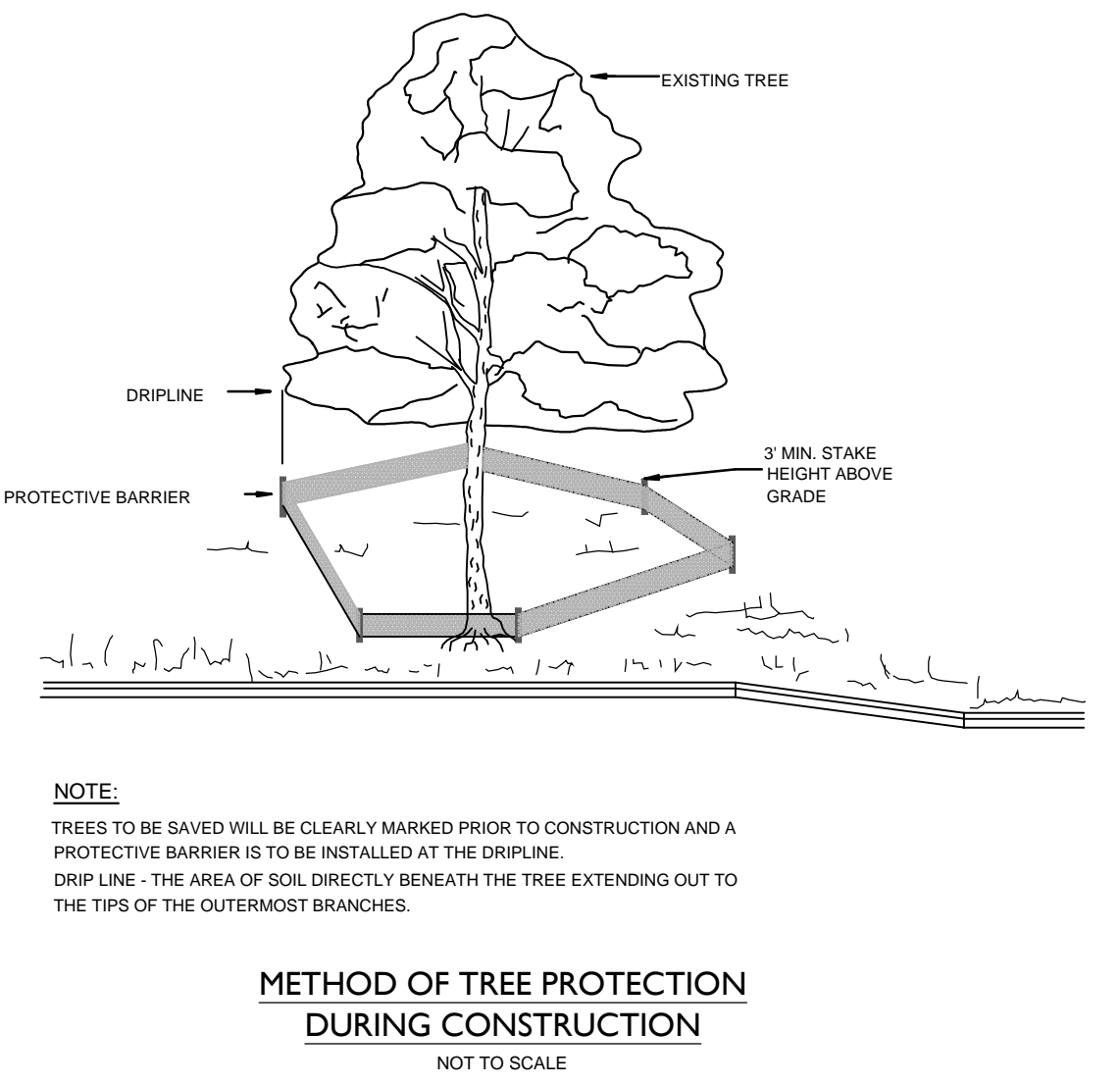
SECTION B-B

PLAN VIEW

DETECTABLE WARNING DOMES

ENGLISH STANDARD DRAWING FOR
CURB RAMP
PROPOSED CURB AND CUTTER

848.05



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____
DWQ SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____

REVISIONS:

CLIENT INFORMATION:
Barclay Commons Retail, LLC
1111 Metropolitan Ave., Suite 700
Charlotte, NC 28204

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST.

DRAWING INFORMATION:
DATE: 07.06.17
AS NOTED
D.F. D.F. D.F.

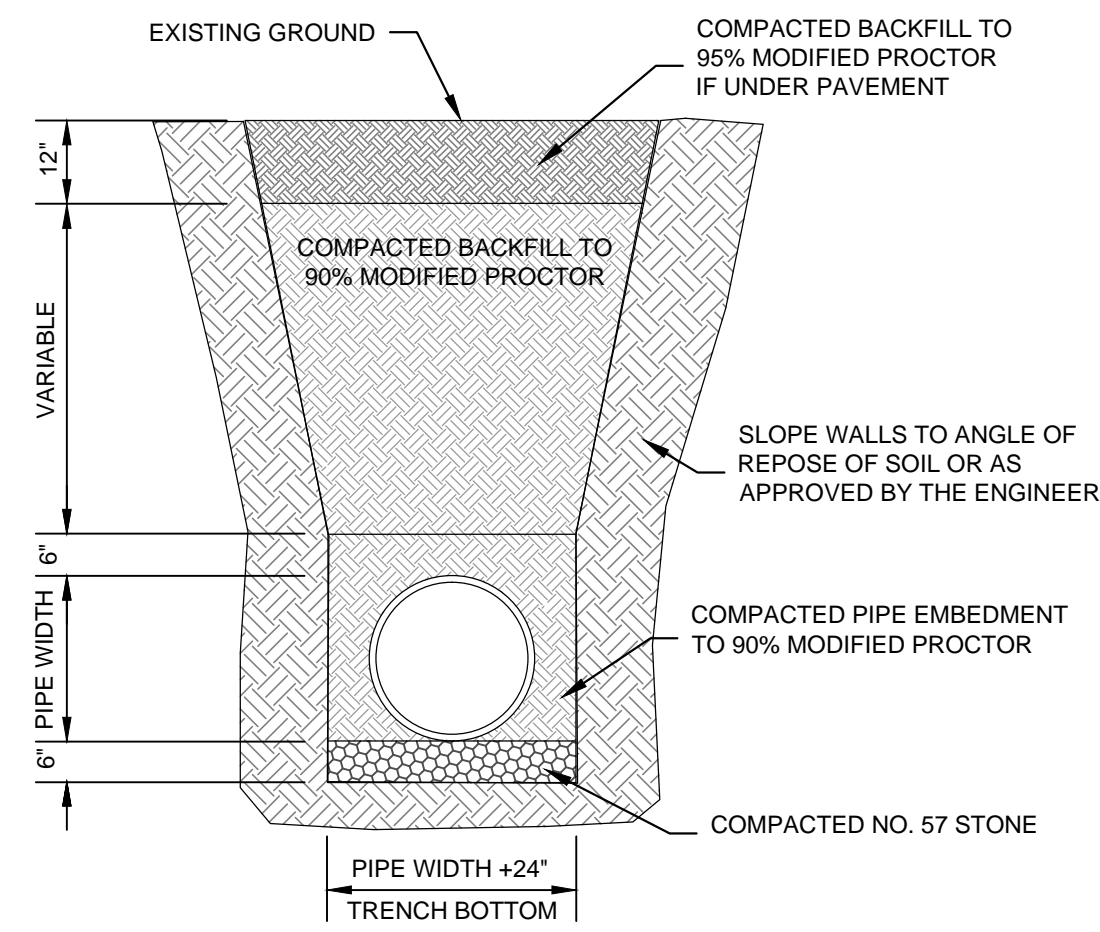
SEAL
NORTH CAROLINA
PROFESSIONAL
SEAL
040501
ENGINEER
D. WILSON
07.06.17

PEI JOB#: 14222.PE

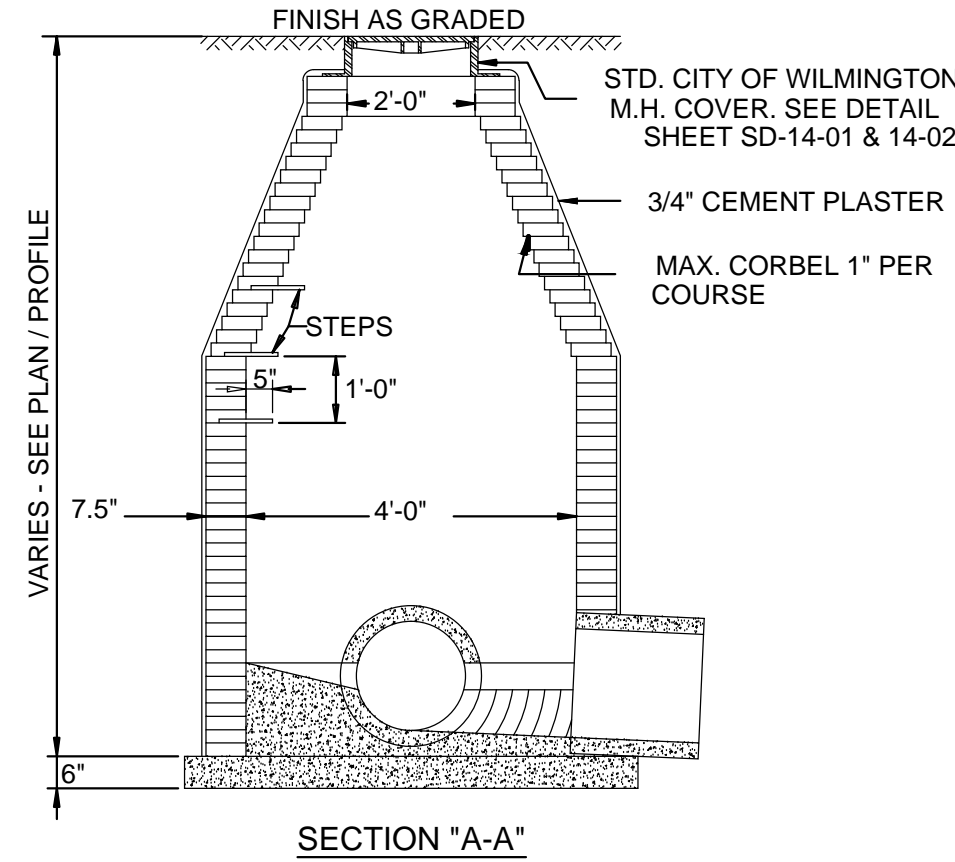
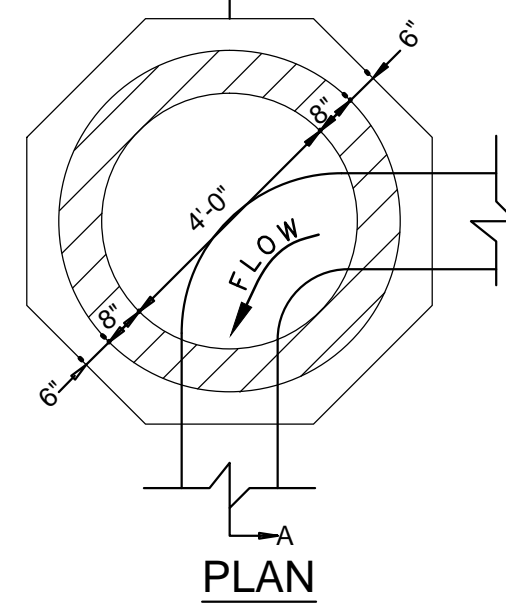
FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

DETAILS
THE POINTE AT BARCLAY
PHASE I - BUILDING 4
'BARCLAY WEST TRACT'
CITY OF WILMINGTON
NORTH CAROLINA

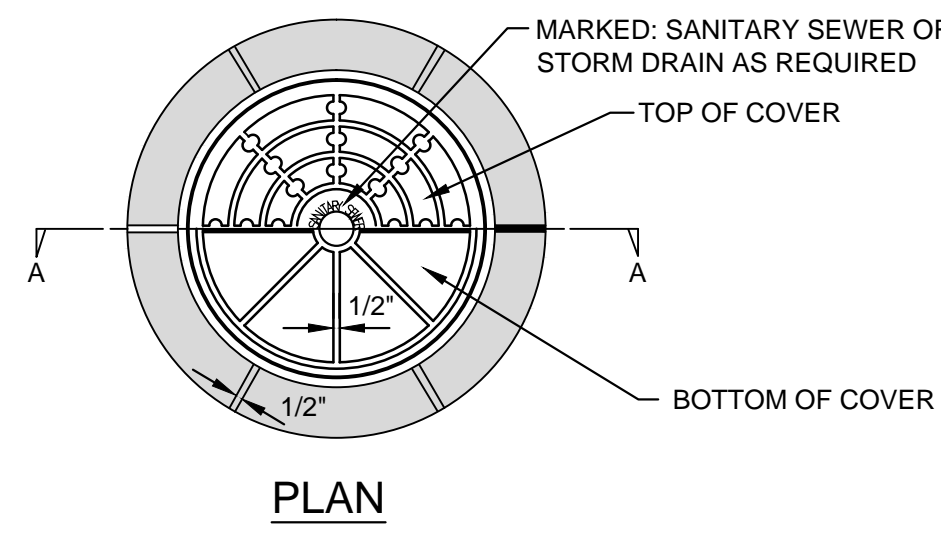
PARAMOUNT
ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846



STANDARD PIPE TRENCH DETAIL
SD 1-07
NOT TO SCALE

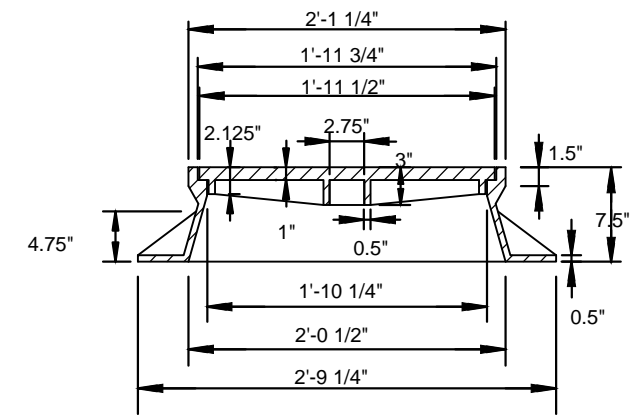


SECTION "A-A"
GUIDELINES FOR STORM DRAIN MANHOLE
SD 2-03

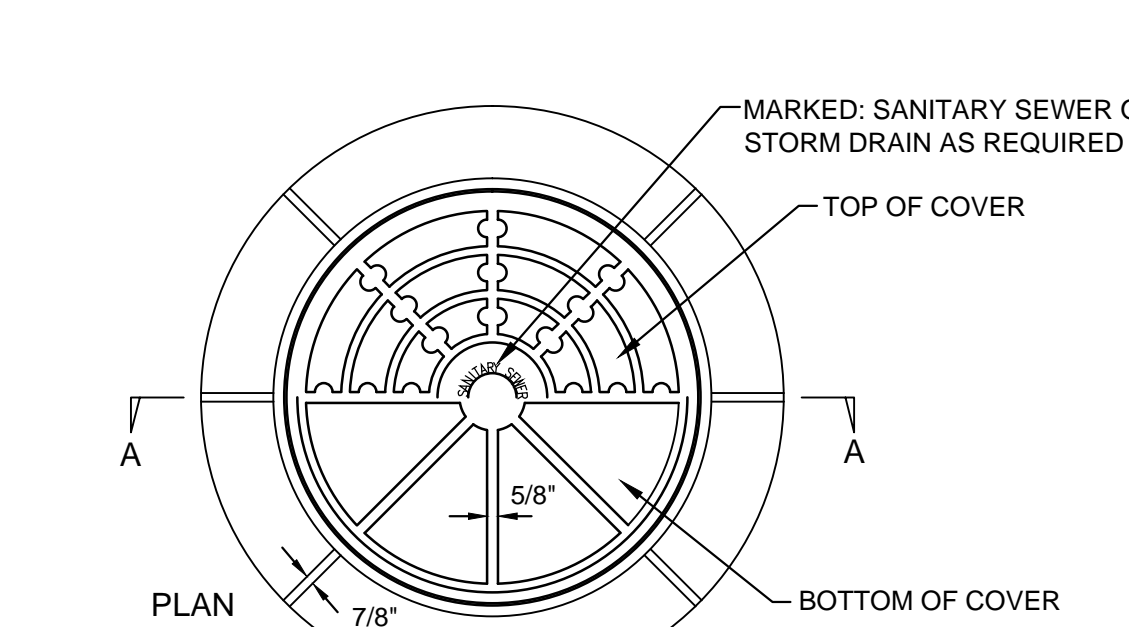


RING & COVER CONTACT SURFACES SHALL BE MACHINED TO INSURE EVEN BEARING OF COVER AND RING

MINIMUM WEIGHTS:
RING 190 LBS.
COVER 120 LBS.

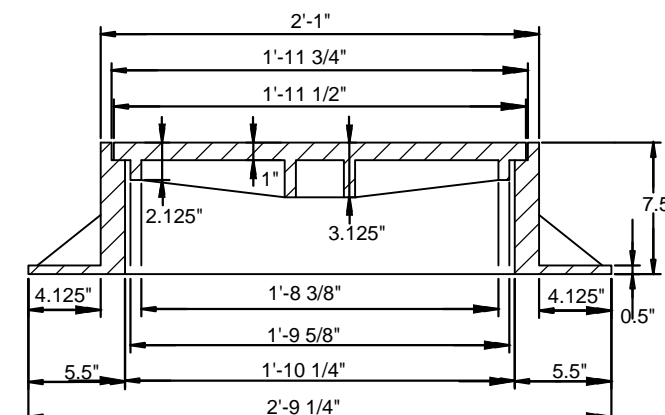


SECTION "A-A"
STANDARD MANHOLE RING AND COVER
SD 14-01
NOT TO SCALE



NOTE: RING & COVER CONTACT SURFACES SHALL BE MACHINED TO INSURE EVEN BEARING OF COVER AND RING

MINIMUM WEIGHTS:
RING 261 LBS.
COVER 120 LBS.



SECTION "A-A"
STANDARD MANHOLE RING & COVER
SD 14-02
NOT TO SCALE

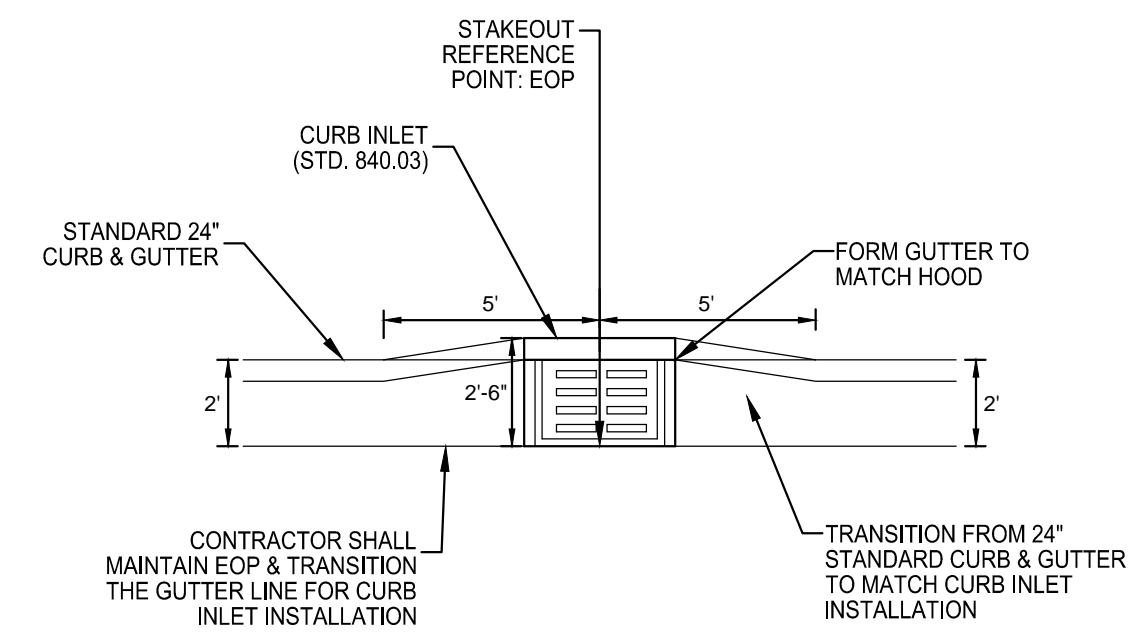
WCDNR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____
Planning _____
Traffic _____
Fire _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____



CURB TRANSITION DETAIL (24" STANDARD)
NOT TO SCALE

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12" THRU 54" PIPE

GENERAL NOTES:
USE CLASS "B" CONCRETE THROUGHOUT.
PROVIDE ALL CATCH BASINS OVER 3'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.
OPTIONAL CONSTRUCTION - MONOLITHIC PIER, 2" KEYWAY, OR #4 BAR DOWELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.
USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
USE TYPE "1", "1A" AND "1B" GRATES UNLESS OTHERWISE INDICATED.
FOR 8'-0" IN HEIGHT OR LESS USE 6" WALLS AND BOTTOM SLAB. OVER 8'-0" TO 12'-0" IN HEIGHT USE 8" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.
CONSTRUCT WITH PIPE GRINGS MATCHING.
CHAMFER ALL EXPOSED CORNERS 1".
DRAWING NOT TO SCALE.

PIPE SIZE	SPAN	WIDTH	MIN. HEIGHT	COVER	BASE-U	BASE-V	BASE-W	TOTAL	CONC. IN BOX	DEDUCTIONS	C.M.	R.C.
12"	3'-0"	2'-0"	2'-0"	2'-0"	0.235	0.772	0.015	0.008	0.235	0.772	0.015	0.008
15"	3'-0"	2'-0"	2'-0"	2'-0"	0.235	0.772	0.033	0.036	0.235	0.772	0.033	0.036
18"	3'-0"	2'-0"	2'-0"	2'-0"	0.235	0.772	0.059	0.060	0.235	0.772	0.059	0.060
24"	3'-0"	2'-0"	2'-0"	2'-0"	0.235	1.001	0.069	0.060	0.235	1.001	0.069	0.060
30"	3'-0"	2'-0"	2'-0"	2'-0"	0.193	0.321	1.430	0.092	0.193	0.321	1.430	0.092
36"	3'-0"	2'-0"	2'-0"	2'-0"	0.193	0.321	1.714	0.130	0.193	0.321	1.714	0.130
42"	3'-0"	2'-0"	2'-0"	2'-0"	0.112	0.318	1.738	0.180	0.112	0.318	1.738	0.180
48"	3'-0"	2'-0"	2'-0"	2'-0"	0.145	0.350	2.092	0.230	0.145	0.350	2.092	0.230
54"	3'-0"	2'-0"	2'-0"	2'-0"	0.180	0.386	2.387	0.287	0.180	0.386	2.387	0.287

ENGLISH STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12" THRU 54" PIPE
SHEET 1 OF 2
840.02

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
CONCRETE THROAT CATCH BASIN
12" THRU 48" PIPE

GENERAL NOTES:
USE CLASS "B" CONCRETE THROUGHOUT.
PROVIDE ALL CATCH BASINS OVER 3'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.
OPTIONAL CONSTRUCTION - MONOLITHIC PIER, 2" KEYWAY, OR #4 BAR DOWELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.
USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
USE TYPE "1", "1A" AND "1B" GRATES UNLESS OTHERWISE INDICATED.
FOR 8'-0" IN HEIGHT OR LESS USE 6" WALLS AND BOTTOM SLAB. OVER 8'-0" TO 12'-0" IN HEIGHT USE 8" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.
CONSTRUCT WITH PIPE GRINGS MATCHING.
CHAMFER ALL EXPOSED CORNERS 1".
DRAWING NOT TO SCALE.

PIPE SIZE	SPAN	WIDTH	MIN. HEIGHT	COVER	BASE-U	BASE-V	BASE-W	TOTAL	CONC. IN BOX	DEDUCTIONS	C.M.	R.C.
12"	3'-0"	2'-0"	2'-0"	2'-0"	0.235	0.772	0.015	0.008	0.235	0.772	0.015	0.008
15"	3'-0"	2'-0"	2'-0"	2'-0"	0.235	0.772	0.033	0.036	0.235	0.772	0.033	0.036
18"	3'-0"	2'-0"	2'-0"	2'-0"	0.235	0.772	0.059	0.060	0.235	0.772	0.059	0.060
24"	3'-0"	2'-0"	2'-0"	2'-0"	0.235	1.001	0.069	0.060	0.235	1.001	0.069	0.060
30"	3'-0"	2'-0"	2'-0"	2'-0"	0.193	0.321	1.430	0.092	0.193	0.321	1.430	0.092
36"	3'-0"	2'-0"	2'-0"	2'-0"	0.193	0.321	1.714	0.130	0.193	0.321	1.714	0.130
42"	3'-0"	2'-0"	2'-0"	2'-0"	0.112	0.318	1.738	0.180	0.112	0.318	1.738	0.180
48"	3'-0"	2'-0"	2'-0"	2'-0"	0.145	0.350	2.092	0.230	0.145	0.350	2.092	0.230
54"	3'-0"	2'-0"	2'-0"	2'-0"	0.180	0.386	2.387	0.287	0.180	0.386	2.387	0.287

ENGLISH STANDARD DRAWING FOR
CONCRETE THROAT CATCH BASIN
12" THRU 48" PIPE
SHEET 1 OF 2
840.04

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
CONCRETE OPEN THROAT CATCH BASIN
12" THRU 48" PIPE

GENERAL NOTES:
USE CLASS "B" CONCRETE THROUGHOUT.
PROVIDE ALL CATCH BASINS OVER 3'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.
OPTIONAL CONSTRUCTION - MONOLITHIC PIER, 2" KEYWAY, OR #4 BAR DOWELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.
USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
USE TYPE "1", "1A" AND "1B" GRATES UNLESS OTHERWISE INDICATED.
FOR 8'-0" IN HEIGHT OR LESS USE 6" WALLS AND BOTTOM SLAB. OVER 8'-0" TO 12'-0" IN HEIGHT USE 8" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.
CONSTRUCT WITH PIPE GRINGS MATCHING.
CHAMFER ALL EXPOSED CORNERS 1".
DRAWING NOT TO SCALE.

PIPE SIZE	SPAN	WIDTH	MIN. HEIGHT	COVER	BASE-U	BASE-V	BASE-W	TOTAL	CONC. IN BOX	DEDUCTIONS	C.M.	R.C.
12"	3'-0"	2'-0"	2'-0"	2'-0"	0.222	0.222	0.092	0.015	0.222	0.222	0.092	0.015
15"	3'-0"	2'-0"	2'-0"	2'-0"	0.448	0.448	0.033	0.036	0.448	0.448	0.033	0.036
18"	3'-0"	2'-0"	2'-0"	2'-0"	0.703	0.703	0.033	0.049	0.703	0.703	0.033	0.049
24"	3'-0"	2'-0"	2'-0"	2'-0"	0.814	0.814	0.059	0.060	0.814	0.814	0.059	0.060
30"	3'-0"	2'-0"	2'-0"	2'-0"	0.222	0.222	0.925	0.092	0.222	0.222	0.925	0.092

ENGLISH STANDARD DRAWING FOR
CONCRETE OPEN THROAT CATCH BASIN
12" THRU 48" PIPE
SHEET 2 OF 2
840.04

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
CONCRETE DROP INLET
12" THRU 30" PIPE

GENERAL NOTES:
USE CLASS "B" CONCRETE THROUGHOUT.
PROVIDE ALL DROP INLETS OVER 3'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.
OPTIONAL CONSTRUCTION - MONOLITHIC PIER, 2" KEYWAY, OR #4 BAR DOWELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.
USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
USE TYPE "1", "1A" AND "1B" GRATES UNLESS OTHERWISE INDICATED.
FOR 8'-0" IN HEIGHT OR LESS USE 6" WALLS AND BOTTOM SLAB. OVER 8'-0" TO 12'-0" IN HEIGHT USE 8" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.
CONSTRUCT WITH PIPE GRINGS MATCHING.
CHAMFER ALL EXPOSED CORNERS 1".
DRAWING NOT TO SCALE.

PIPE SIZE	SPAN	WIDTH	MIN. HEIGHT	COVER	BASE-U	BASE-V	BASE-W	TOTAL	CONC. IN BOX	DEDUCTIONS	C.M.	R.C.
12"	3'-0"	2'-0"	2'-0"	2'-0"	0.222	0.222	0.092	0.015	0.222	0.222	0.092	0.015
15"	3'-0"	2'-0"	2'-0"	2'-0"	0.448	0.448	0.033	0.036	0.448	0.448	0.033	0.036
18"	3'-0"	2'-0"	2'-0"	2'-0"	0.703	0.703	0.033	0.049	0.703	0.703	0.033	0.049
24"	3'-0"	2'-0"	2'-0"	2'-0"	0.814	0.814	0.059	0.060	0.814	0.814	0.059	0.060
30"	3'-0"	2'-0"	2'-0"	2'-0"	0.222	0.222	0.925	0.092	0.222	0.222	0.925	0.092

ENGLISH STANDARD DRAWING FOR
CONCRETE DROP INLET
12" THRU 30" PIPE
SHEET 1 OF 1
840.14

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
CONCRETE OPEN THROAT CATCH BASIN
12" THRU 48" PIPE

GENERAL NOTES:
USE CLASS "B" CONCRETE THROUGHOUT.
PROVIDE ALL CATCH BASINS OVER 3'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66.
OPTIONAL CONSTRUCTION - MONOLITHIC PIER, 2" KEYWAY, OR #4 BAR DOWELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.
USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB.
IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00.
USE TYPE "1", "1A" AND "1B" GRATES UNLESS OTHERWISE INDICATED.
FOR 8'-0" IN HEIGHT OR LESS USE 6" WALLS AND BOTTOM SLAB. OVER 8'-0" TO 12'-0" IN HEIGHT USE 8" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY.
CONSTRUCT WITH PIPE GRINGS MATCHING.
CHAMFER ALL EXPOSED CORNERS 1".
DRAWING NOT TO SCALE.

PIPE SIZE	SPAN	WIDTH	MIN. HEIGHT	COVER	BASE-U	BASE-V	BASE-W	TOTAL	CONC. IN BOX	DEDUCTIONS	C.M.	R.C.
12"	3'-0"	2'-0"	2'-0"	2'-0"	0.181	0.271	0.260	0.048	0.181	0.271	0.260	0.048
15"	3'-0"	2'-0"	2'-0"	2'-0"	0.181	0.271	0.260	0.048	0.181	0.271	0.260	0.048
18"	3'-0"	2'-0"	2'-0"	2'-0"	0.226	0.340	0.264	0.060	0.226	0.340	0.264	0.060
24"	3'-0"	2'-0"	2'-0"	2'-0"	0.226	0.340	0.264	0.060	0.226	0.340	0.264	0.060
30"	3'-0"	2'-0"	2'-0"	2'-0"	0.278	0.417	0.310	0.080	0.278	0.417	0.310	0.080
36"	3'-0"	2'-0"	2'-0"	2'-0"	0.340	0.510	0.362	0.100	0.340	0.510	0.362	0.100
42"	3'-0"	2'-0"	2'-0"	2'-0"	0.407	0.611	0.389	0.120	0.407	0.611	0.389	0.120
48"	3'-0"	2'-0"	2'-0"	2'-0"	0.444	0.656	0.407	0.140	0.444	0.656	0.407	0.140

ENGLISH STANDARD DRAWING FOR
CONCRETE OPEN THROAT CATCH BASIN
12" THRU 48" PIPE
SHEET 1 OF 2
840.04

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
DROP INLET FRAME AND GRATES
FOR USE WITH STD. DWS 840.14 AND 840.15

GENERAL NOTES:
INSTALL STONE GRADING OR A MINIMUM OF 1" CURB FOOT OF NO. 786 STONE IN A POROUS FABRIC BAG OR W/SP, AT EACH WEEP HOLE OR AS DIRECTED BY THE ENGINEER.
CHAMFER ALL EXPOSED CORNERS 1".
DRAWING NOT TO SCALE.

ENGLISH STANDARD DRAWING FOR
DROP INLET FRAME AND GRATES
FOR USE WITH STD. DWS 840.14 AND 840.15
SHEET 1 OF 1
840.16

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ENGLISH STANDARD DRAWING FOR
DROP INLET FRAME AND GRATES
FOR USE WITH STD. DWS 840.14 AND 840.15

GENERAL NOTES:
INSTALL STONE GRADING OR A MINIMUM OF 1" CURB FOOT OF NO. 786 STONE IN A POROUS FABRIC BAG OR W/SP, AT EACH WEEP HOLE OR AS DIRECTED BY THE ENGINEER.
CHAMFER ALL EXPOSED CORNERS 1".
DRAWING NOT TO SCALE.

ENGLISH STANDARD DRAWING FOR
DROP INLET FRAME AND GRATES
FOR USE WITH STD. DWS 840.14 AND 840.15
SHEET 1 OF 1
840.16

REVISIONS:

NO.	DATE	DESCRIPTION

CLIENT INFORMATION:

Barclay Commons Retail, LLC
1111 Metropolitan Ave., Suite 700
Charlotte, NC 28204

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-0707 (O) (910) 791-6760 (F)
NC License #: C-2846

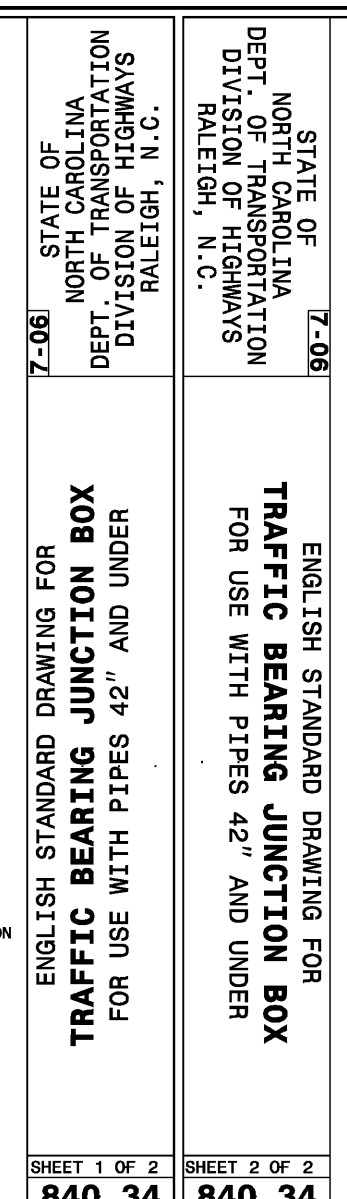
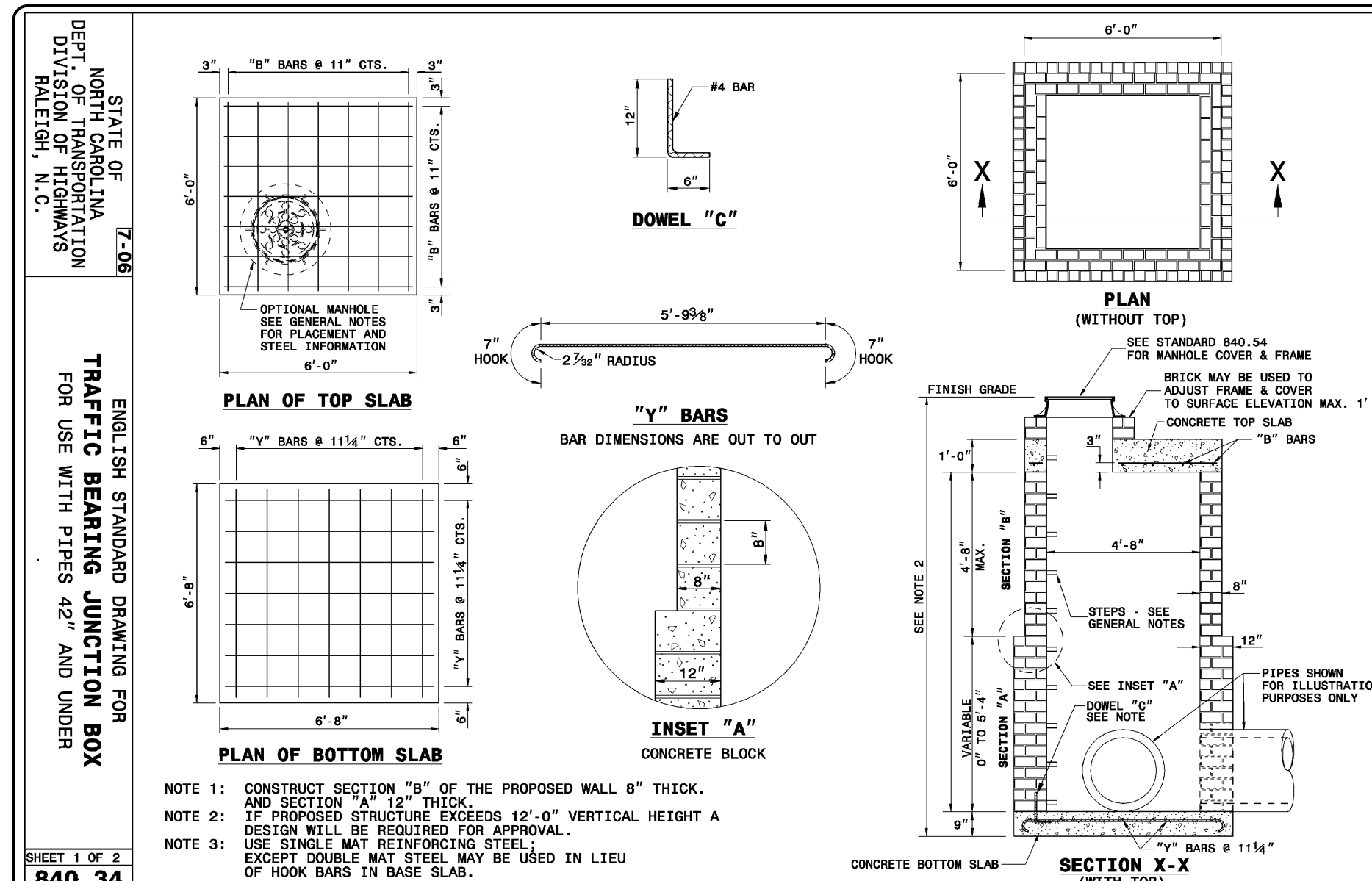
PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST.

DRAWING INFORMATION:
DATE: 07/06/17
AS SHOWN
DESIGNED:
DRAWN:
CHECKED:

SEAL
NORTH CAROLINA
PROFESSIONAL
ENGINEER
040501
07/06/17

PEI JOB#: 14222.PE

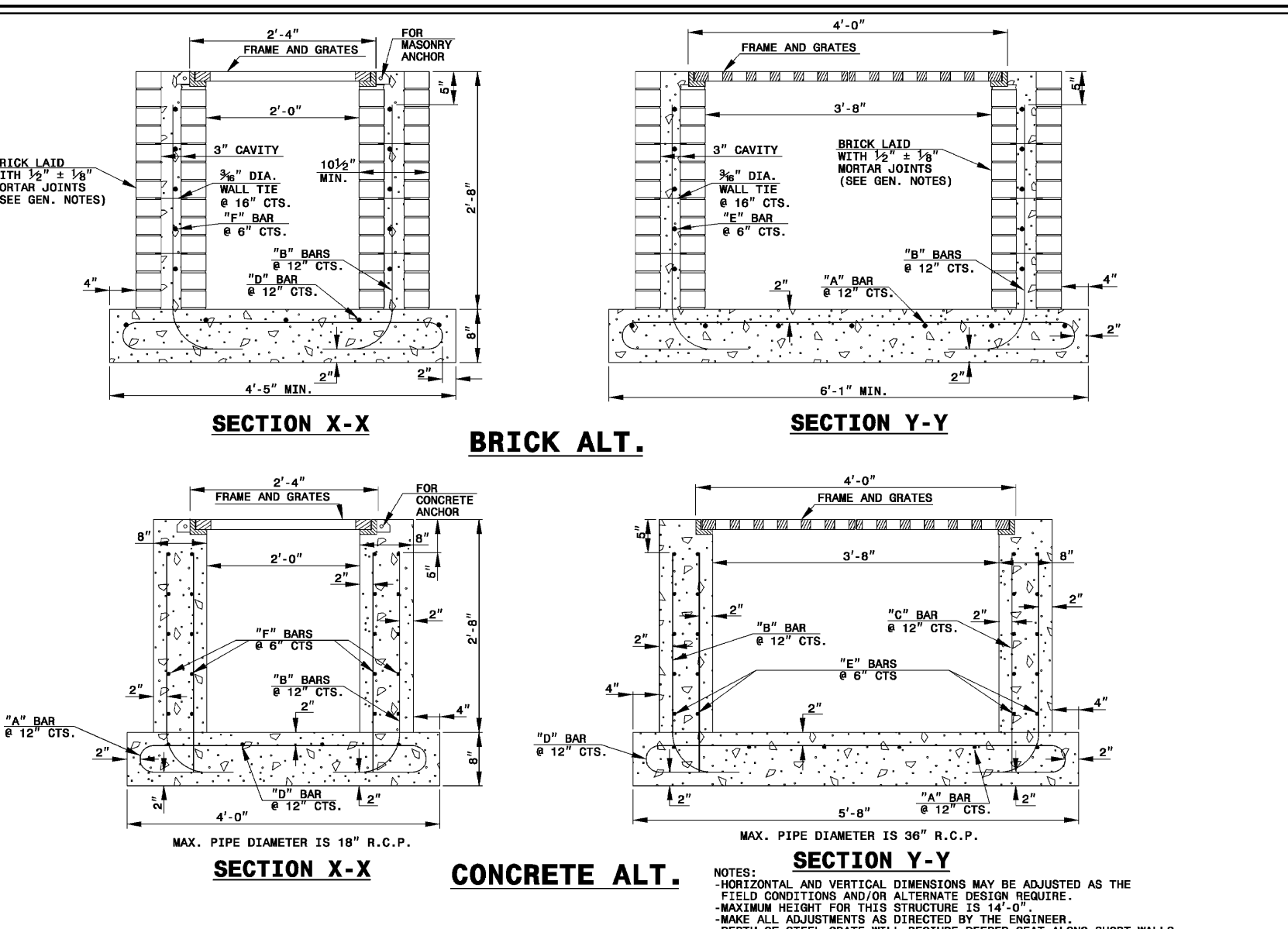
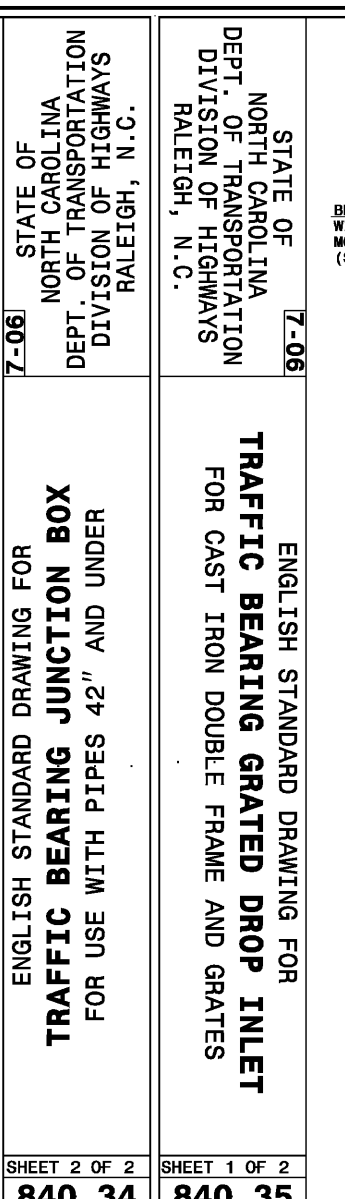
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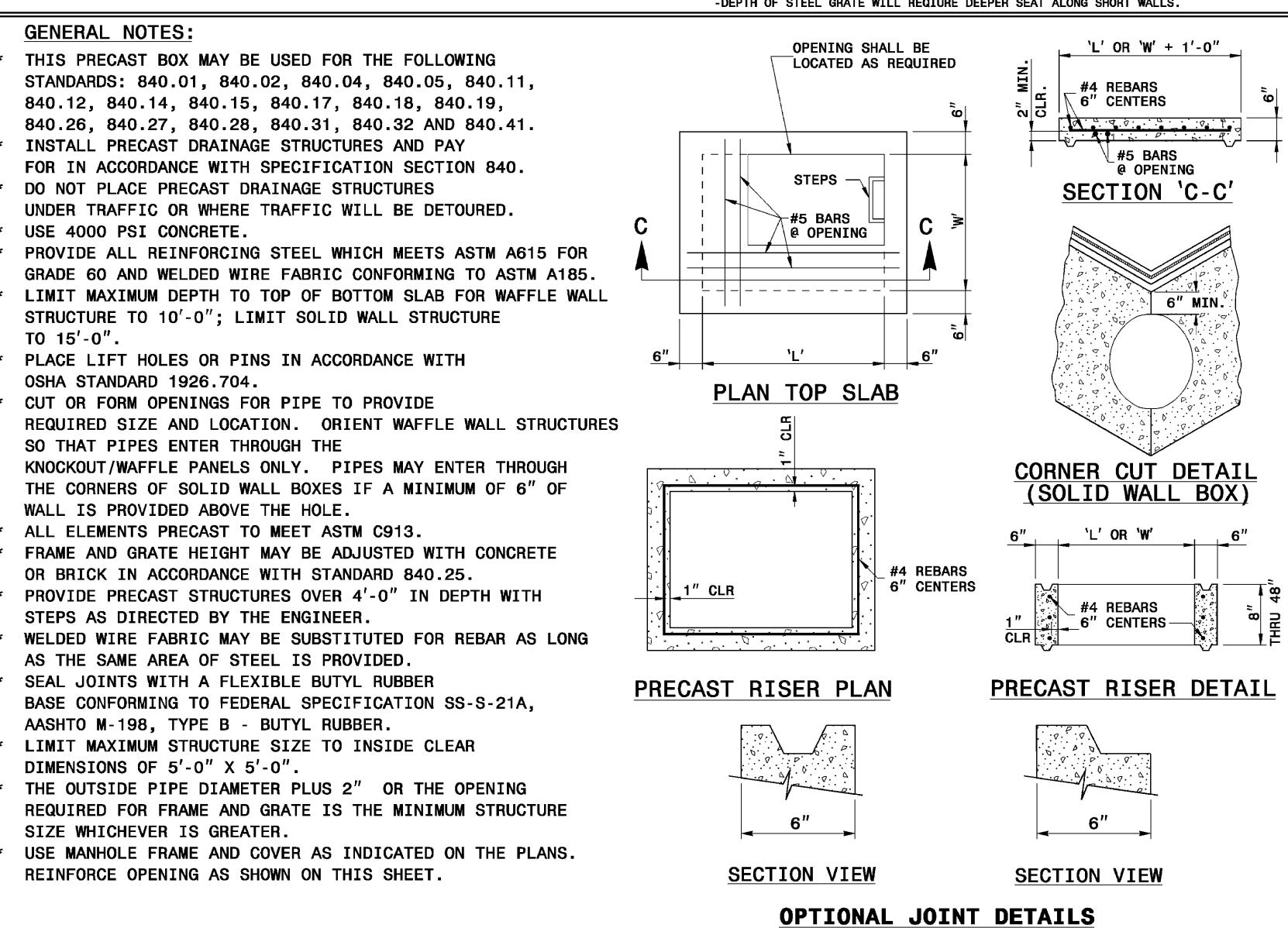
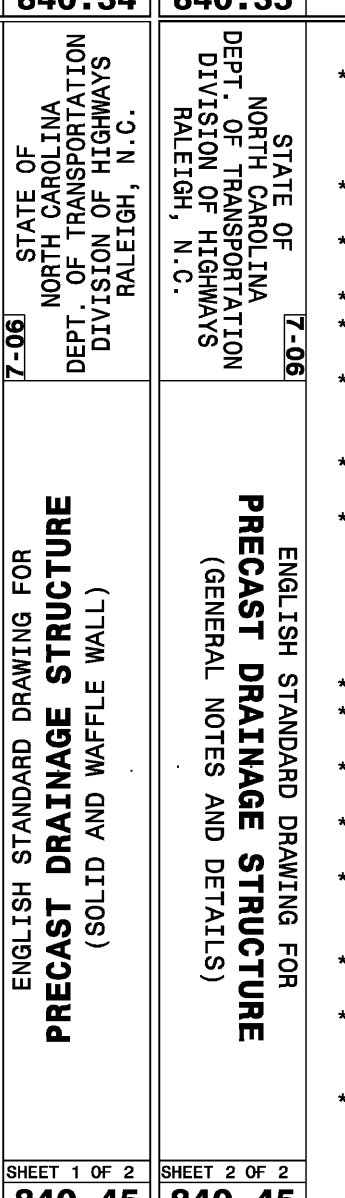
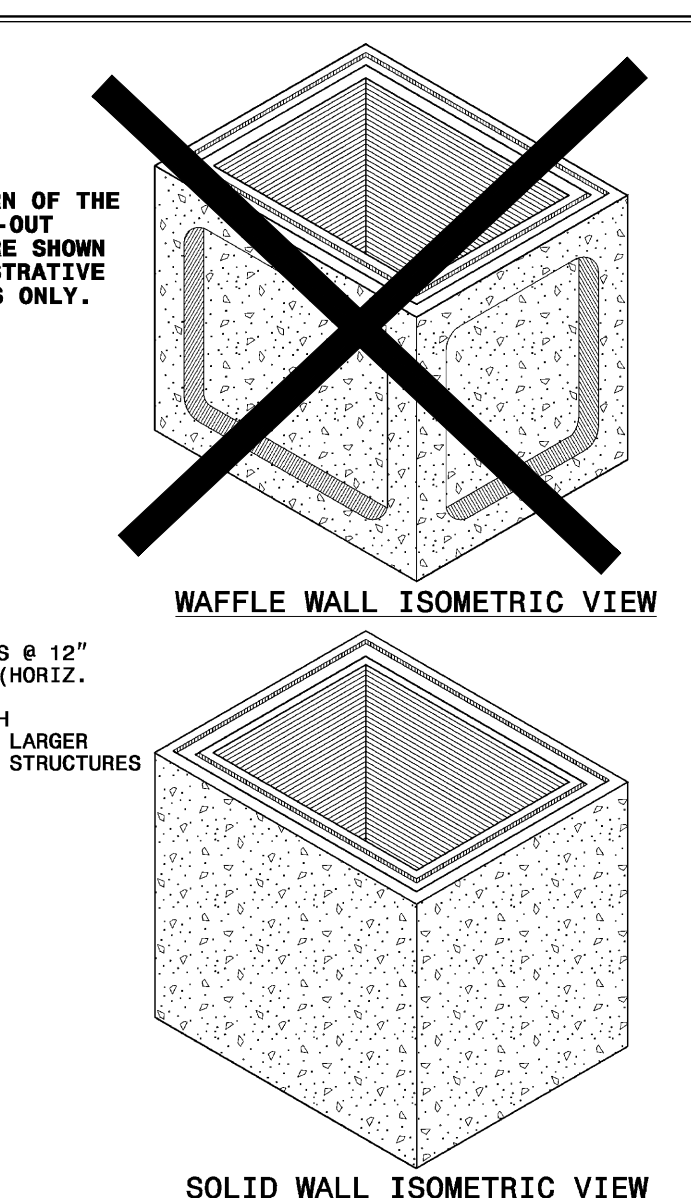
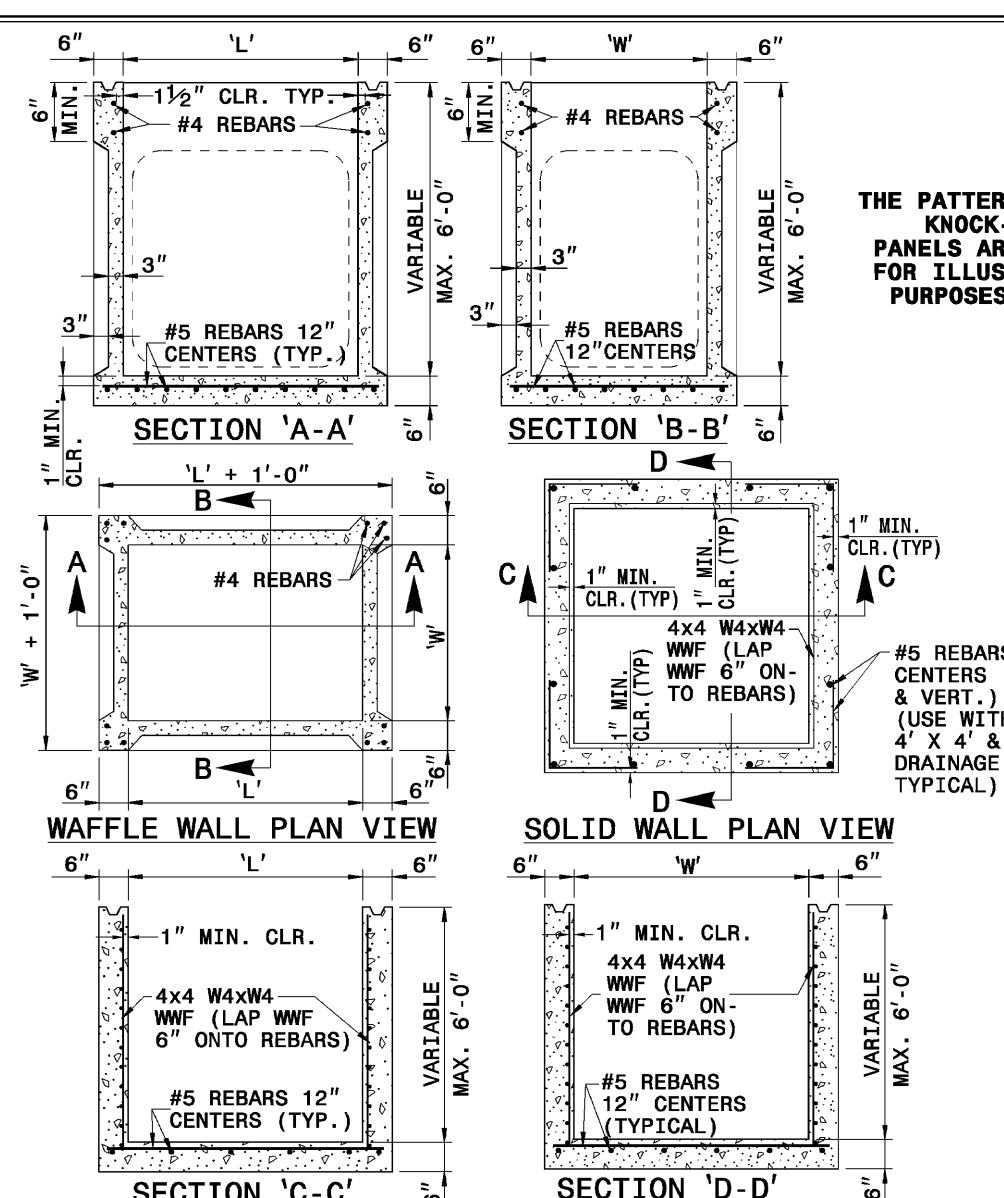
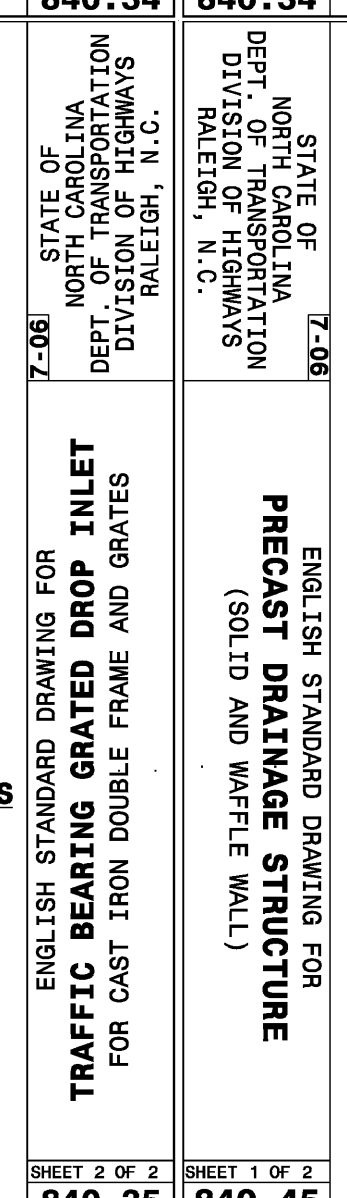
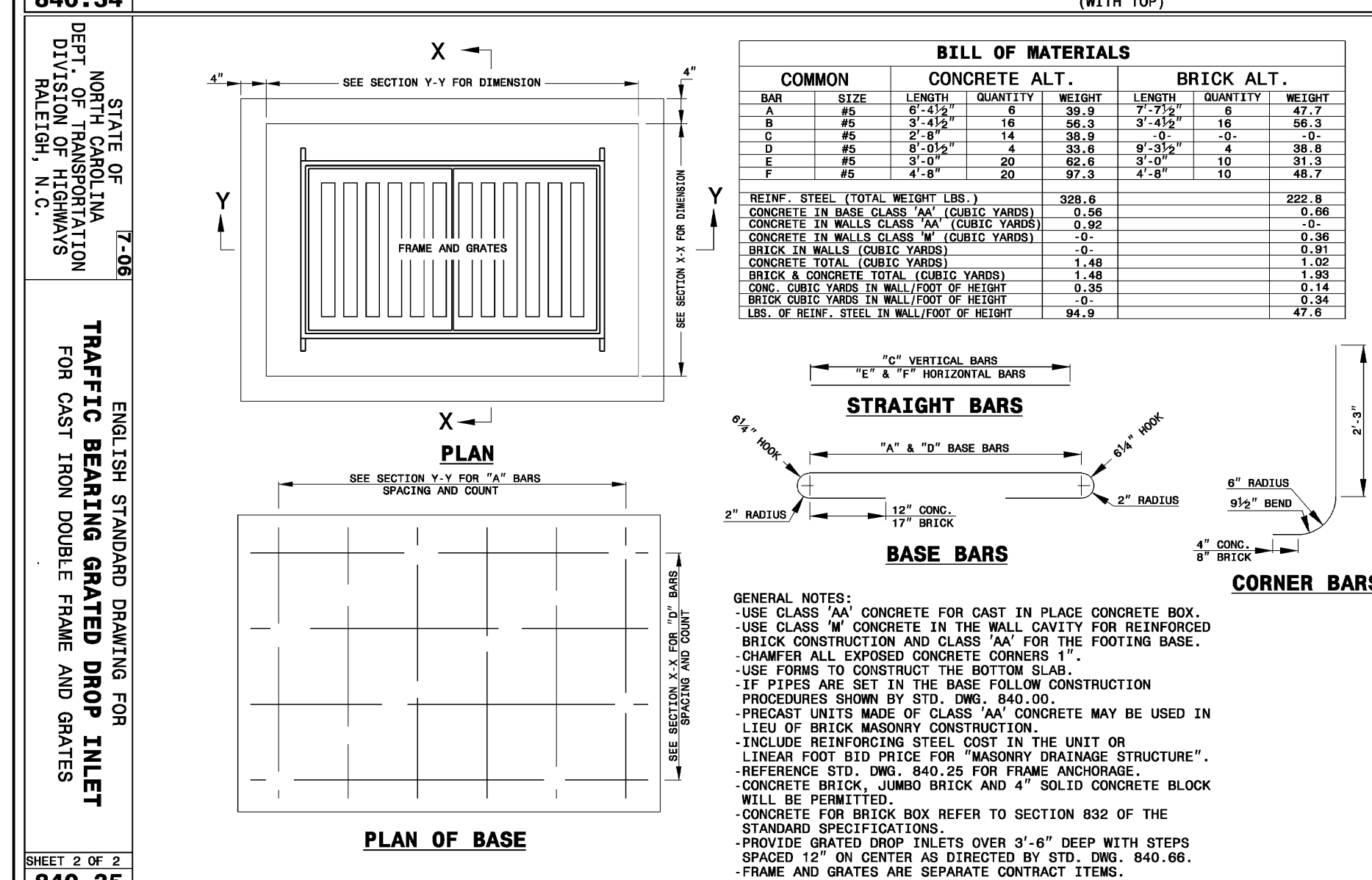
GENERAL NOTES:
USE STANDARD OR JUMBO BRICK FOR WALL CONSTRUCTION. SOLID CONCRETE BRICK OR BLOCK ARE OPTIONAL WALL CONSTRUCTION MATERIAL.
PRECAST UNITS MADE OF CLASS "AA" CONCRETE MAY BE USED IN LIEU OF BRICK MASONRY CONSTRUCTION. SUBMIT DESIGN OF PRECAST UNITS FOR APPROVAL PRIOR TO CONSTRUCTION.
INCLUDE ALL ADJUSTMENTS TO WALLS, SLABS OR REINFORCING MATERIAL IN THE UNIT PRICE BID FOR EACH UNIT.
INSTALL OPTIONAL MANHOLE IN POSITION AS DIRECTED BY THE ENGINEER. CUT OR BEND ALL REBAR CROSSING THIS OPENING TO ALLOW 2" MINIMUM CONCRETE COVERAGE. ENCLOSE THE OPENING WITH B "A" BARS TIED TO THE REBAR MAT AND SET SO A MINIMUM OF 3" CONCRETE COVER IS ATTAINED. REFERENCE STD. NO. 840.54 FOR MANHOLE INFORMATION.
PROVIDE JUNCTION BOXES WITH MANHOLES OVER 3'-6" IN DEPTH WITH STEPS PLACED ON 12" CENTERS. REFERENCE STD. NO. 840.66.
SPACE DOWEL "C" BARS AT A MAXIMUM OF 12" CENTERS.
MAXIMUM DEPTH OF THIS UNIT AS SHOWN IS 12".
CONSTRUCT THE JUNCTION BOX IN ACCORDANCE WITH SECTIONS 830, 832, 834 AND 840 OF THE STANDARD SPECIFICATIONS.

BILL OF MATERIAL

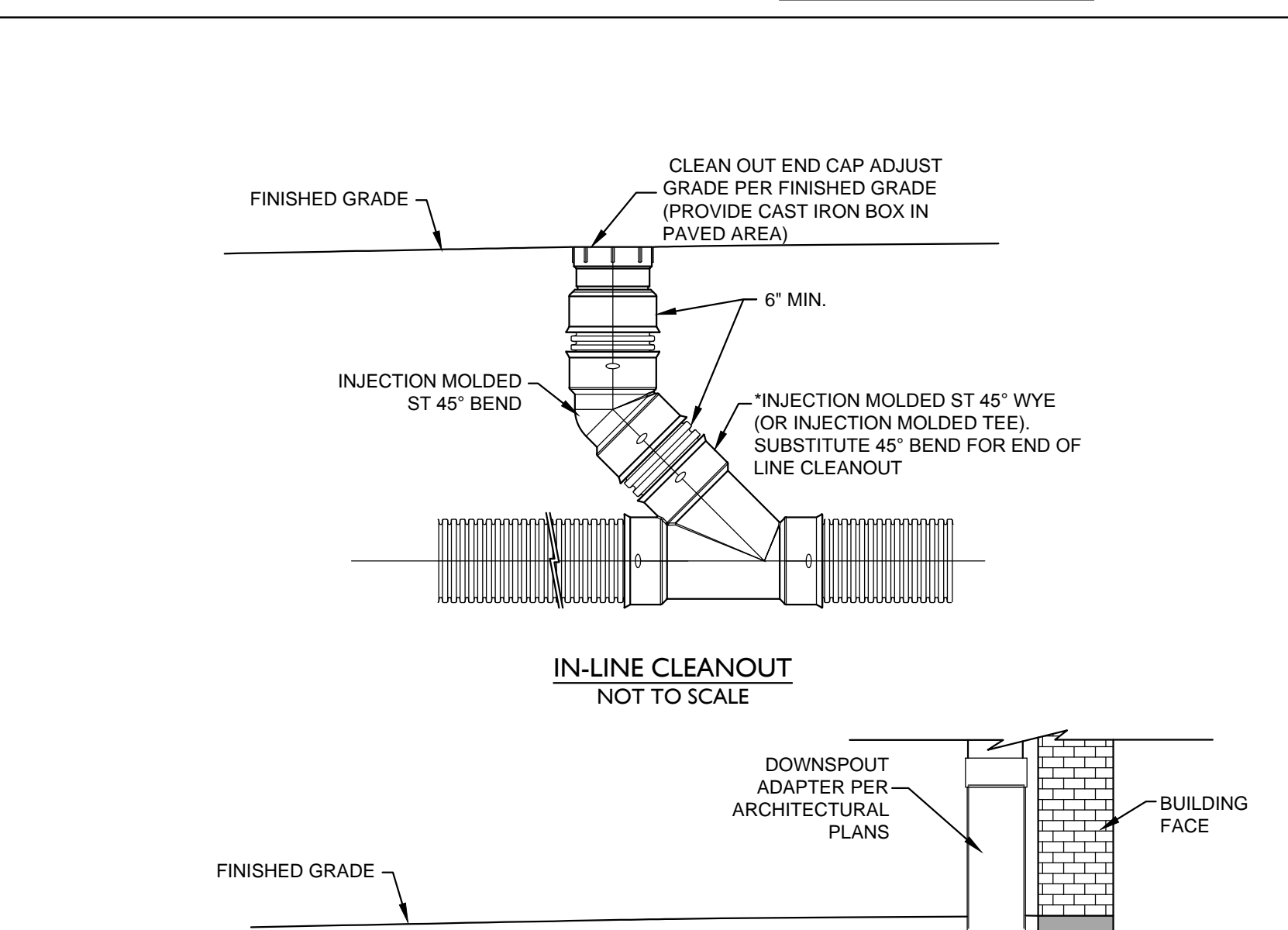
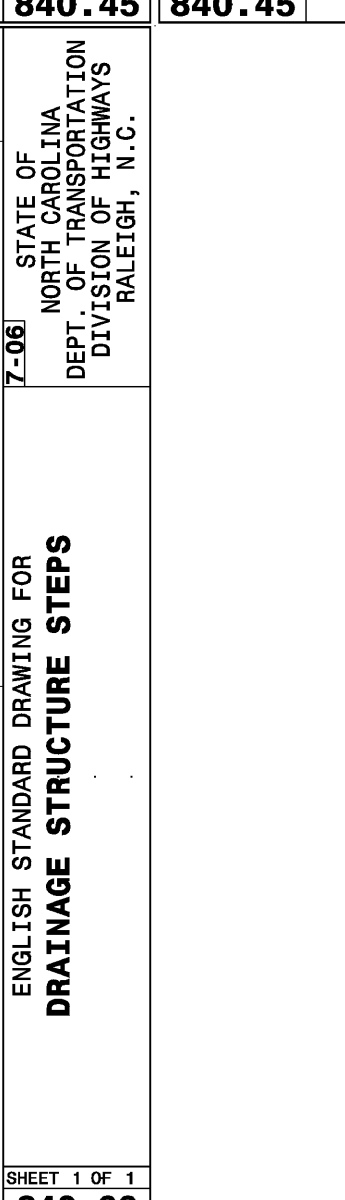
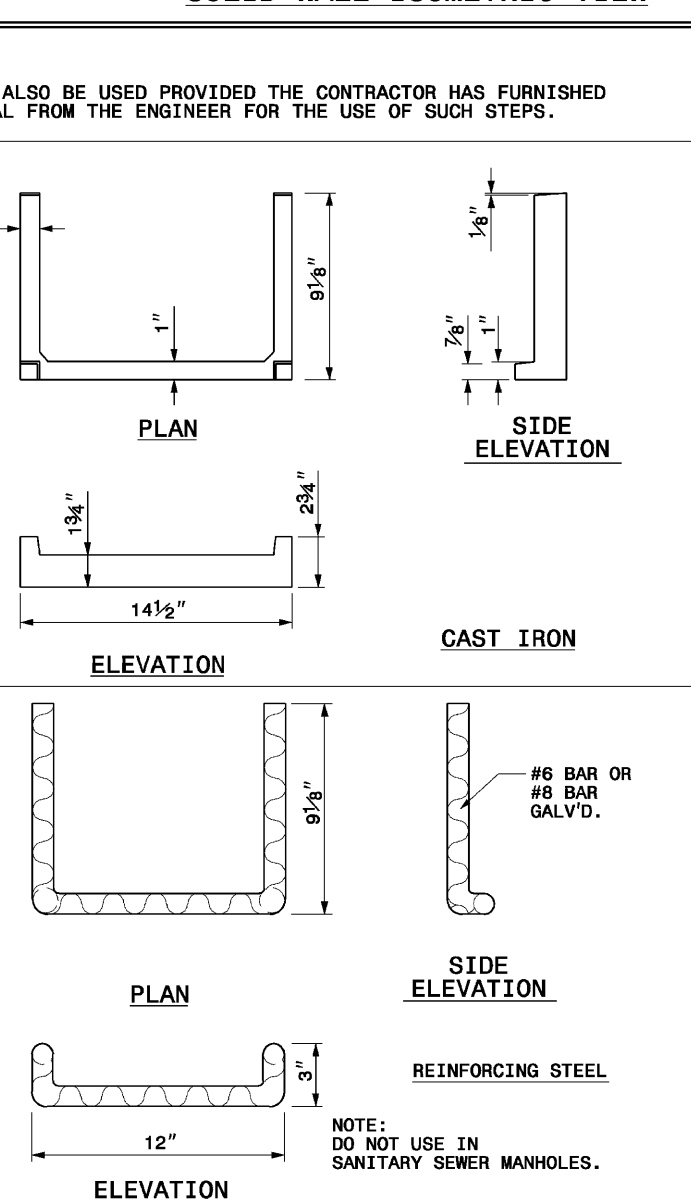
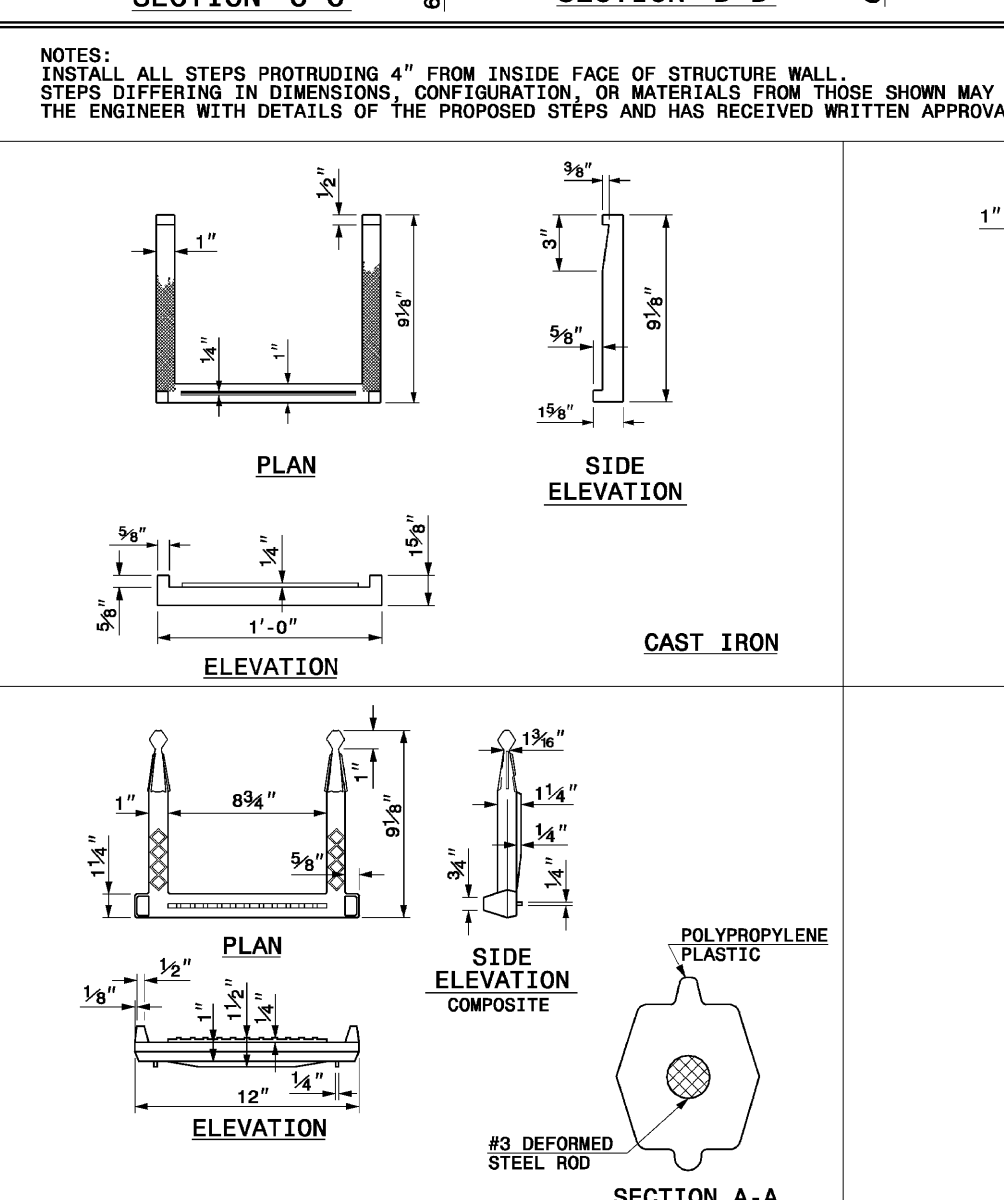
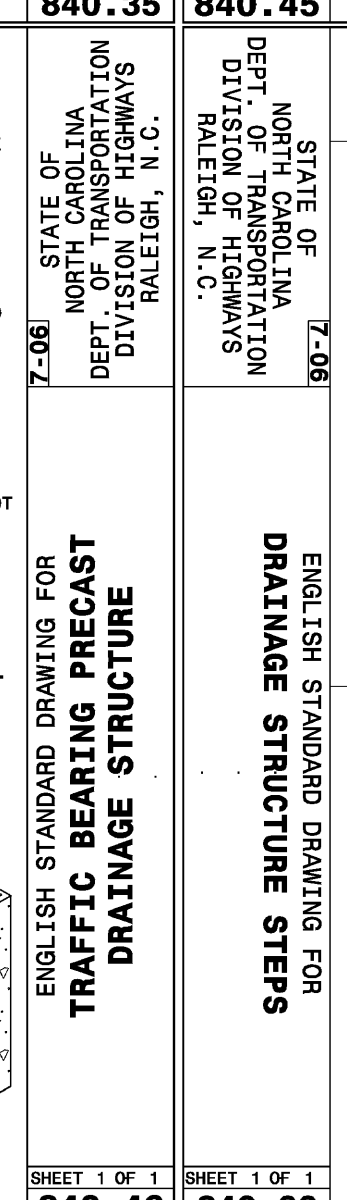
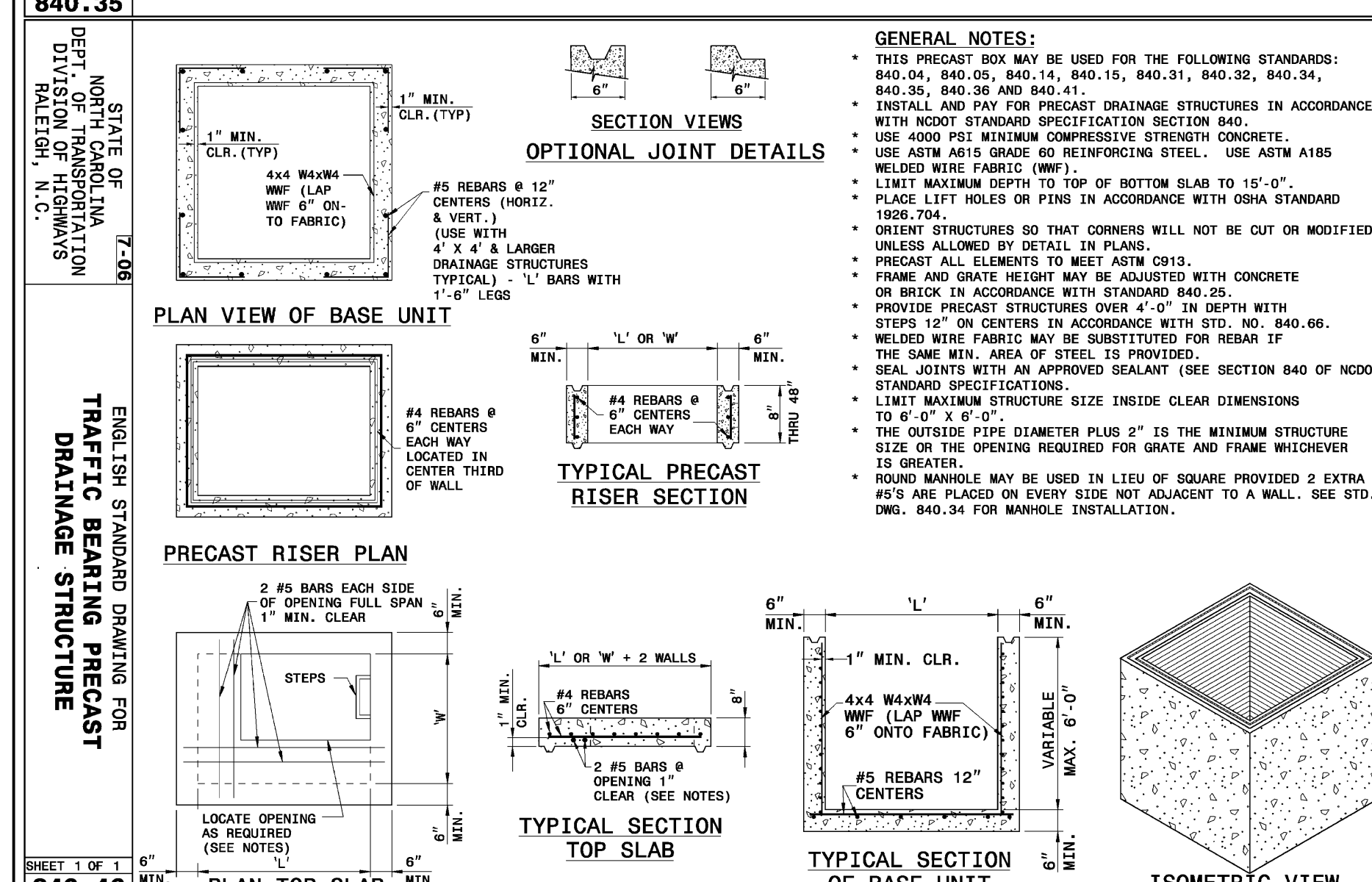
BAR	QTY.	SIZE	LENGTH	WEIGHT
A	8	#5	1'-2"	0.7
B	14	#5	5'-6"	10.3
C	20	#4	1'-6"	26.1
Y	14	#5	6'-11 1/2"	101.5
STEEL TOTAL WEIGHT 217.6				
CU. YDS. CLASS "AA" CONC.	2.6			
CU. YDS. BRICK/FT. HT. (12")	0.53			
CU. YDS. BRICK/FT. HT. (12")	0.84			



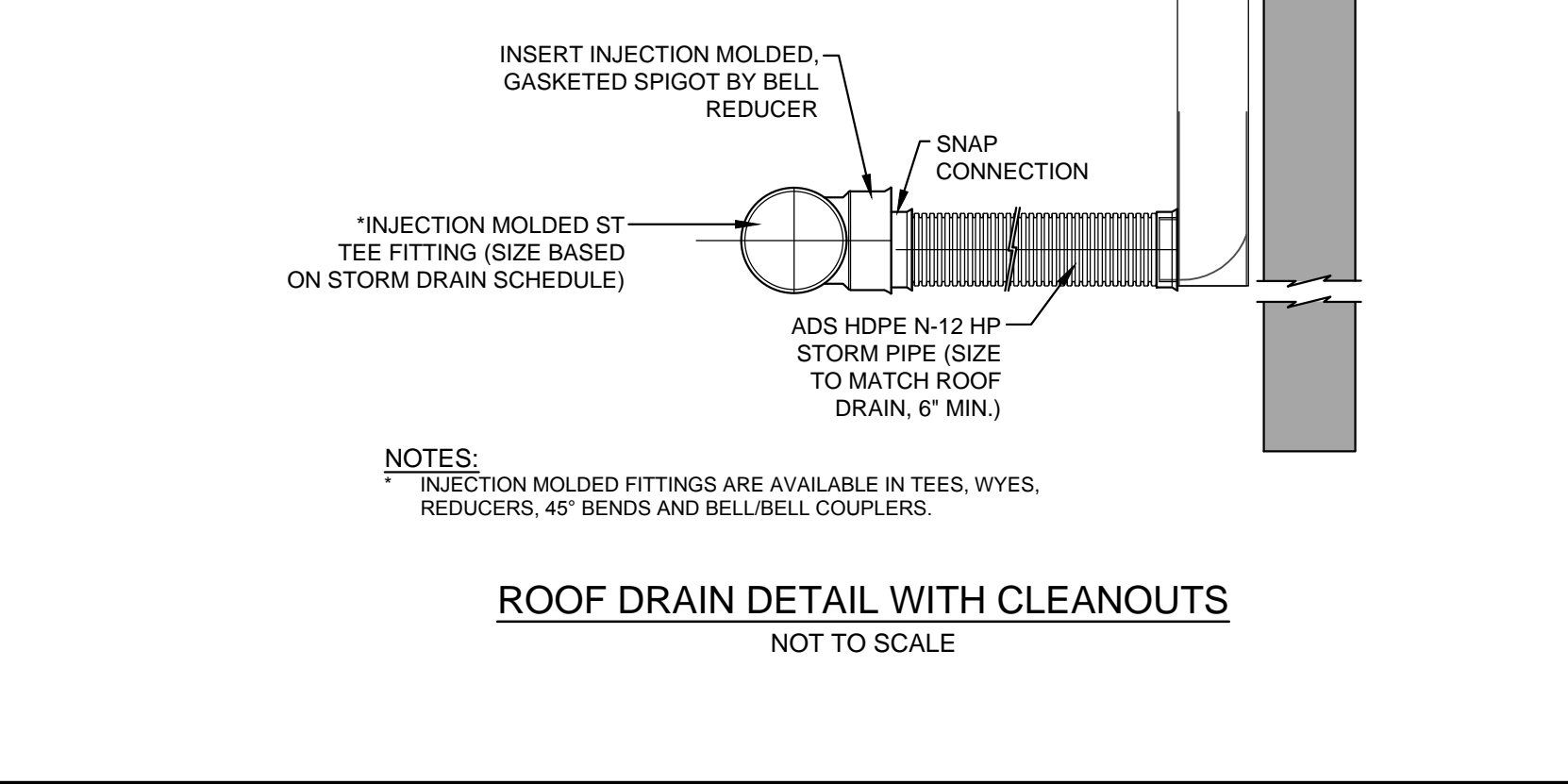
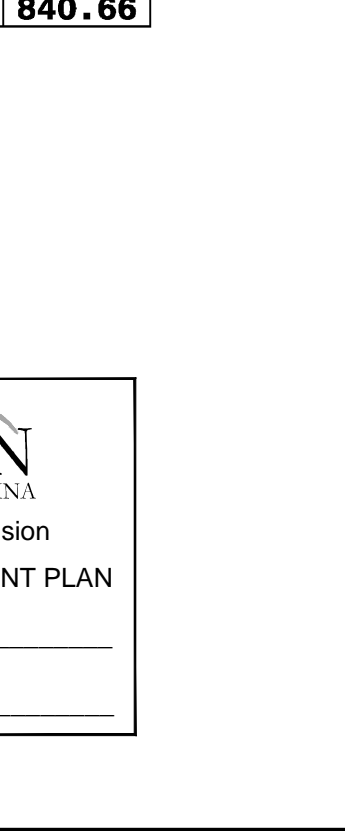
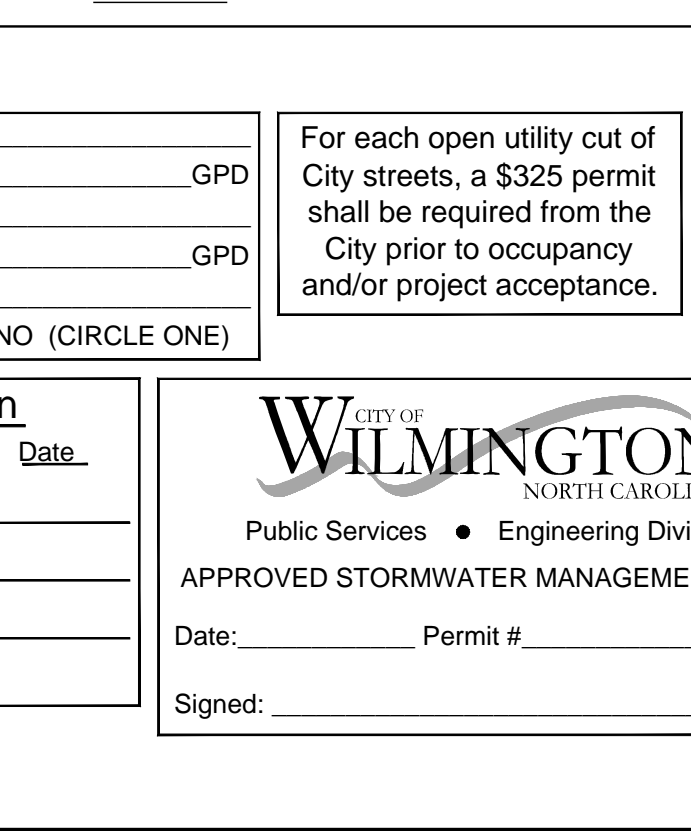
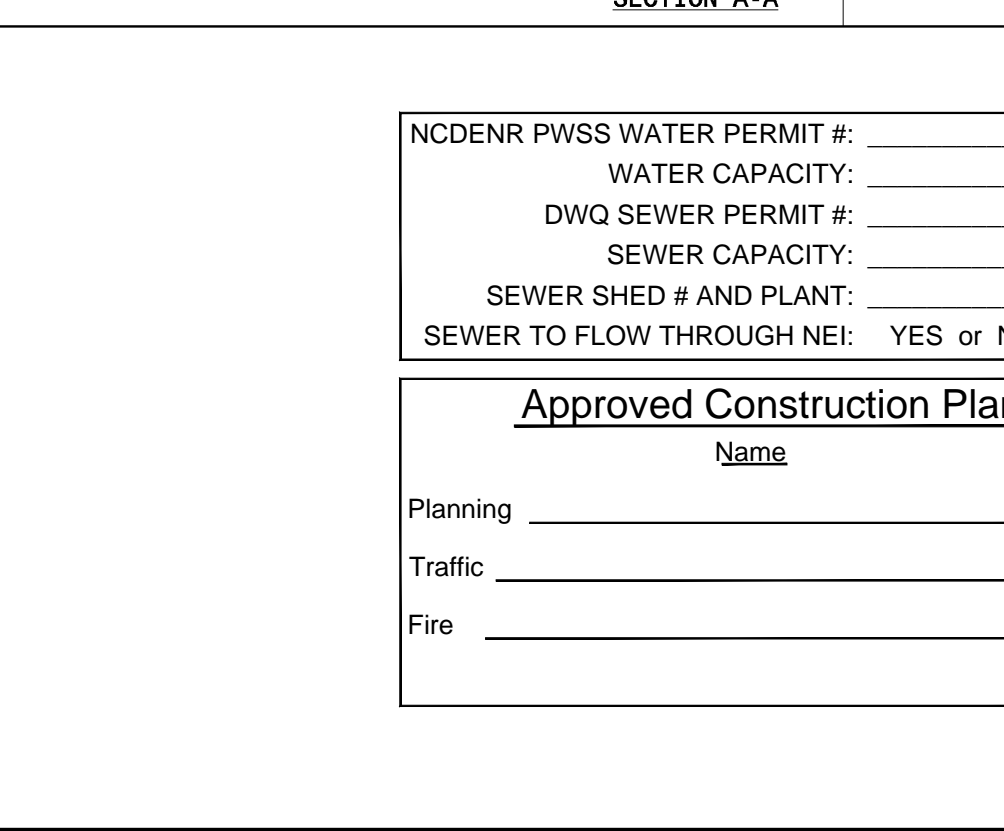
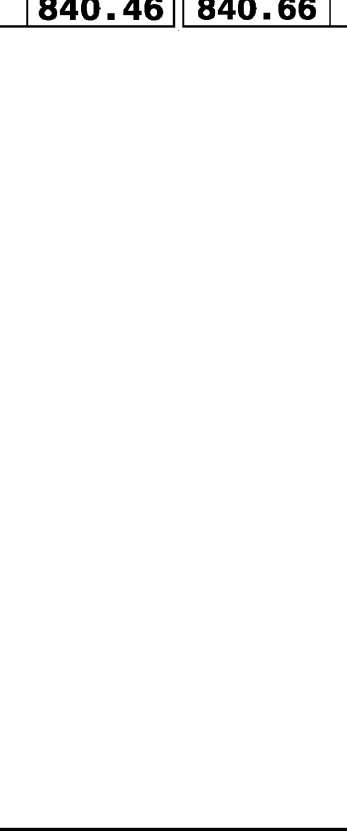
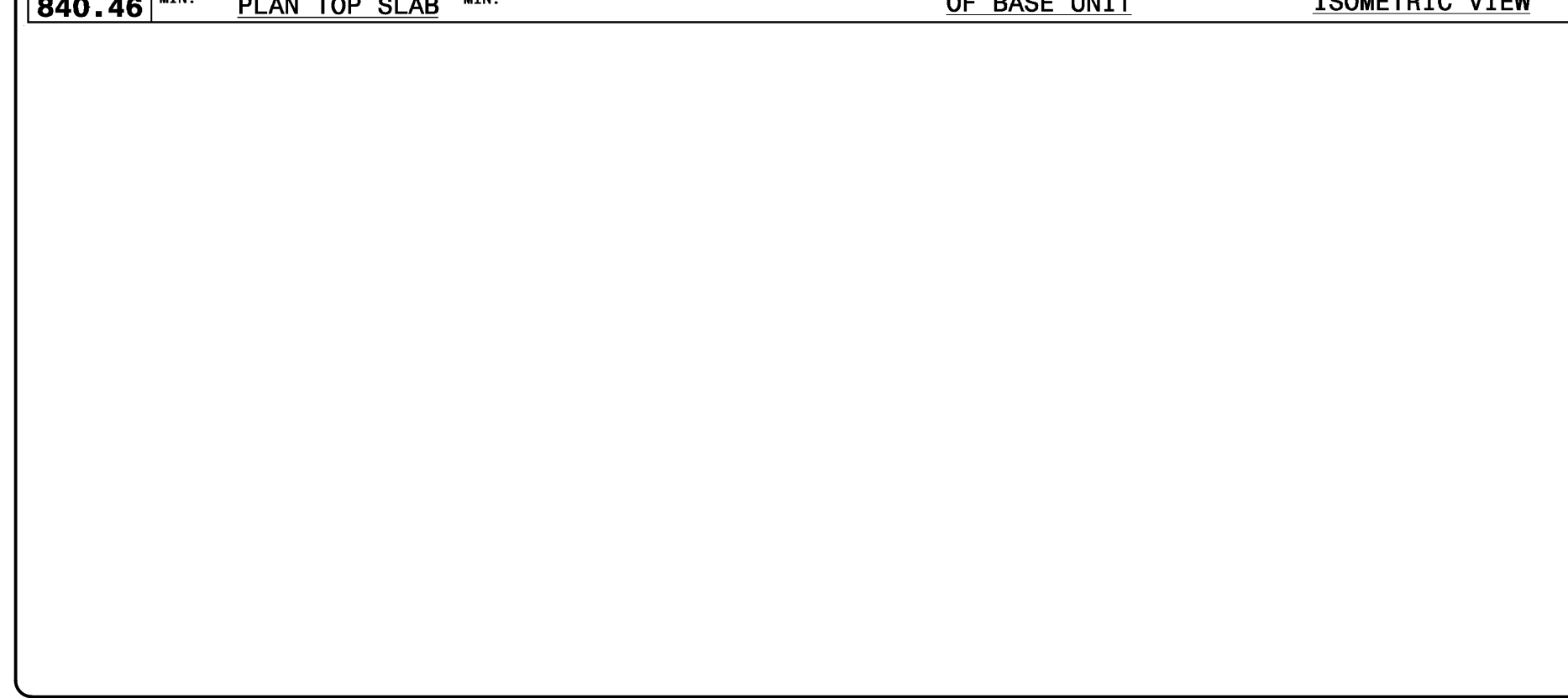
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INSTALL PRECAST DRAINAGE STRUCTURES AND PAY FOR IN ACCORDANCE WITH SPECIFICATION SECTION 840.
DO NOT PLACE PRECAST DRAINAGE STRUCTURES UNDER TRAFFIC OR WHERE TRAFFIC WILL BE DETOURED.
USE 4000 PSI CONCRETE.
PROVIDE ALL REINFORCING STEEL WHICH MEETS ASTM A615 FOR GRADE 60 AND WELDED WIRE FABRIC CONFORMING TO ASTM A185.
LIMIT MAXIMUM DEPTH TO TOP OF BOTTOM SLAB FOR WAFFLE WALL STRUCTURE TO 15'-0".
LIMIT SOLID WALL STRUCTURE TO 15'-0".
PLACE LIFT HOLES OR PINS IN ACCORDANCE WITH OSHA STANDARD 1926.702.
CUT OR FORM OPENINGS FOR PIPE TO PROVIDE REQUIRED SIZE AND LOCATION. ORIENT WAFFLE WALL STRUCTURES SO THAT PIPES ENTER THROUGH THE KNOCKOUT/WAFFLE PANELS ONLY. PIPES MAY ENTER THROUGH THE CORNERS OF SOLID WALL BOXES IF A MINIMUM OF 6" OF WALL IS PROVIDED ABOVE THE HOLE.
ALL ELEMENTS PRECAST TO MEET ASTM C913.
FRAME AND GRATE HEIGHT MAY BE ADJUSTED WITH CONCRETE OR BRICK IN ACCORDANCE WITH STANDARD 840.25.
PRECAST STRUCTURES OVER 4'-0" IN DEPTH WITH STEPS AS DIRECTED BY THE ENGINEER.
WELDED WIRE FABRIC MAY BE SUBSTITUTED FOR REBAR AS LONG AS THE SAME AREA OF STEEL IS PROVIDED.
SEAL JOINTS WITH A FLEXIBLE BUTYL RUBBER BASE CONFORMING TO FEDERAL SPECIFICATION SS-S-21A, AASHTO M-198, TYPE B - BUTYL RUBBER.
LIMIT MAXIMUM STRUCTURE SIZE TO INSIDE CLEAR DIMENSIONS OF 5'-0" X 5'-0".
THE OUTSIDE PIPE DIAMETER PLUS 2" OR THE OPENING REQUIRED FOR FRAME AND GRATE IS THE MINIMUM STRUCTURE SIZE WHICHEVER IS GREATER.
USE MANHOLE FRAME AND COVER AS INDICATED ON THE PLANS.
REINFORCE OPENING AS SHOWN ON THIS SHEET.



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LIMIT MAXIMUM STRUCTURE SIZE TO INSIDE CLEAR DIMENSIONS TO 6'-0" X 6'-0".
THE OUTSIDE PIPE DIAMETER PLUS 2" IS THE MINIMUM STRUCTURE SIZE OR THE OPENING REQUIRED FOR GRATE AND FRAME WHICHEVER IS GREATER.
ROUND MANHOLE MAY BE USED IN LIEU OF SQUARE PROVIDED 2 EXTRA #5'S ARE PLACED ON EVERY SIDE NOT ADJACENT TO A WALL. SEE STD. DWS. 840.54 FOR MANHOLE INSTALLATION.



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STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

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REVISIONS:

CLIENT INFORMATION:
PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-0707 (O) (910) 791-6760 (F)
NC License #: C-2846

DETAILS
THE POINTE AT BARCLAY
PHASE I - BUILDING 4
'BARCLAY WEST TRACT'
CITY OF WILMINGTON
NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
DATE: 07.06.17
AS NOTED
DESIGNED: D.J.F.
DRAWN: D.J.F.
CHECKED: D.J.F.

SEAL
NORTH CAROLINA PROFESSIONAL ENGINEER
040501
D.J.F.
07.06.17

C-4.3
PEI JOB#: 14222.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

NC DENR PWSS WATER PERMIT # _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT # _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

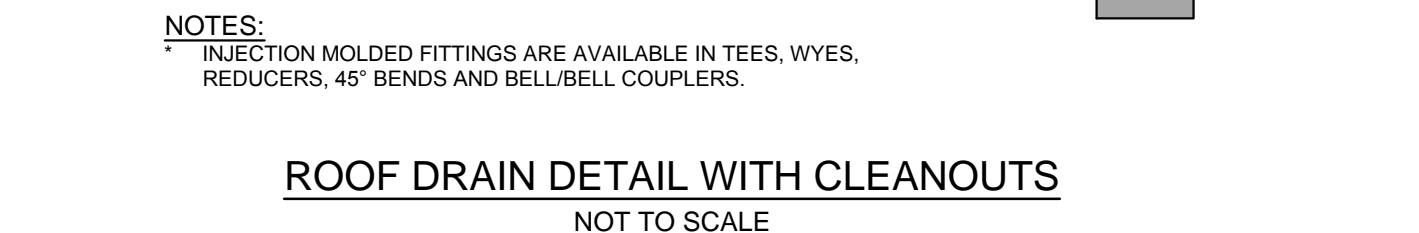
Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____



SITE INFORMATION

PARCEL ID: R06500-003-004-000
 CURRENT ZONING: RB-CO & O&I-1-CD
 PROPOSED USE: MIXED USE
 OWNER INFORMATION: BARCLAY COMMONS RETAIL, LLC
 2508 INDEPENDENCE BLVD, SUITE 202
 WILMINGTON, NC

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- STAKE ALL TREES AS SHOWN IN DETAIL CR AS OTHERWISE DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- SET ALL TREES IN 5" MINIMUM DIAMETER PINE STRAW MULCH BED.
- ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING SEEDED AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PREPARE ALL SEEDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SEED. ALL TURF AREAS MUST BE IRRIGATED OR HAND WATERED. ALL TURF AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELED GROUND. REFERENCE PLANT SCHEDULE FOR TURF SELECTION.
- IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED. ALL MATERIAL INCLUDING TURF AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- STREET TREES WILL BE PLANTED AS CLOSE TO CITY REGULATIONS AS POSSIBLE; HOWEVER, SITE CONDITIONS INCLUDING THE LOCATIONS OF DRIVEWAYS, SIGNS, ETC. MAY REQUIRE ADJUSTMENT FROM PROPOSED PLAN.
- ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10' IN ACCORDANCE WITH SECTION 18-556 OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
- ANY TREES NEAR ROADWAYS AND WALKWAYS BUT LOCATED OUTSIDE OF DESIGNATED SIGHT DISTANCE TRIANGLES WILL BE MAINTAINED TO PROVIDE CLEAR SIGHT LINES UP TO 10'.
- IN CASES WHERE SIGHT DISTANCE TRIANGLES INTERFERE WITH OTHER REQUIRED BUFFER OR PLANTING AREAS, THE SIGHT DISTANCE TRIANGLE WAS MAINTAINED AND PLANTINGS WERE ADJUSTED TO ALLOW FOR PROPER SIGHT LINES.
- AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED BY OWNER.
- TREES SHALL BE PLANTED NO LESS THAN 5' FROM SEWER AND WATER LINES.
- ALL LANDSCAPE PLANTINGS WILL BE COMPLIANT WITH ARTICLE 8 OF THE CITY OF WILMINGTON LDC.
- IF OWNER REQUESTS ADDITIONAL PLANTINGS WITHIN SIGHT TRIANGLES, ALL PLANTINGS WILL BE LIMITED TO SHRUBS AND/OR ORNAMENTAL GRASSES LESS THAN 30" IN HEIGHT.

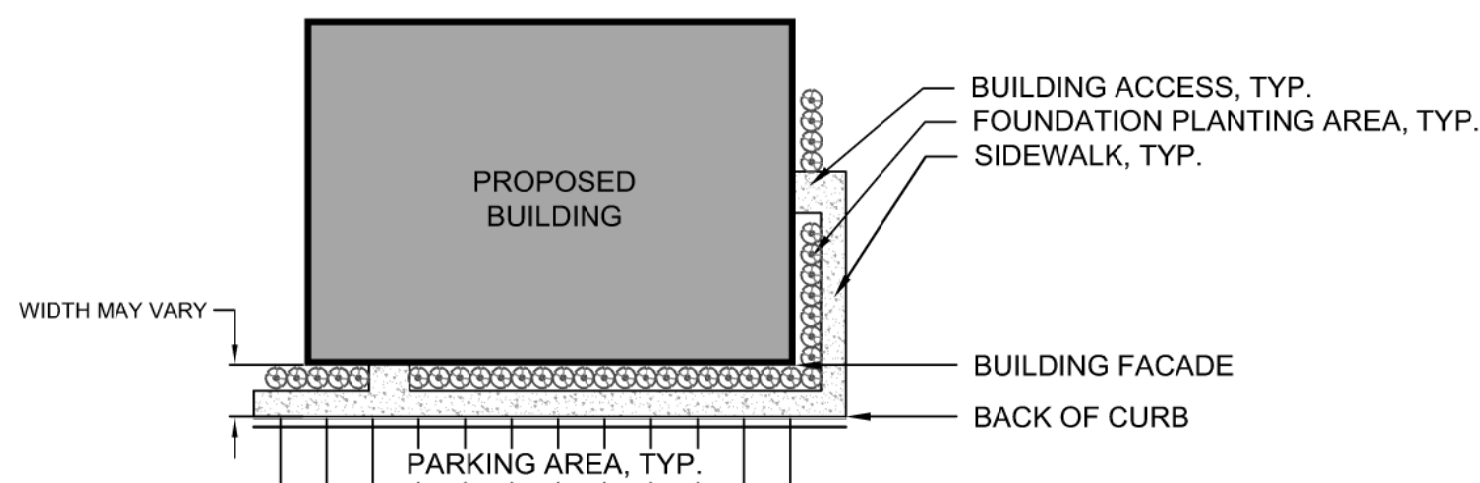
PLANT SCHEDULE

SHRUBS	CODE	QTY	COMMON NAME	CONT	SPACING	REMARKS
	DBH	27	DIWARF BURFORD HOLLY ILEX CORNUTA 'BURFORDII NANA'	7 GAL		
	PIT	27	VARIEGATED MOCK ORANGE PITTIOSPORUM T. 'VARIEGATA'	7 GAL		
GRASSES	CODE	QTY	COMMON NAME	CONT	SPACING	REMARKS
	MG	19	PINK MUHLY MUHLENBERGIA CAPILLARIS	1 GAL		
GROUND COVERS	CODE	QTY	COMMON NAME	CONT	SPACING	REMARKS
	ASJ	90	ASIATIC JASMINE TRACHELOSPERMUM A. 'ASIATIC'	4" POT	18" O.C.	18" o.c.

LANDSCAPE CALCULATIONS:

SHADING REQUIREMENTS:
 PH 1 REQUIRED: 23.6 AC X 0.20 = 4.72 AC
 PH 1 PROVIDED: 5.59 AC OR 243,828 SF
 PH 2 BLDG 9 & 10 REQUIRED: 1.07 AC X 0.20 = 0.21 AC
 PH 2 BLDG 9 & 10 PROVIDED: 21 LARGE CANOPY @ 707 SF = 14,847 SF OR 0.34 AC
 ALL COMBINED PHASES:
 REQUIRED: 4.72 AC + 0.15 AC = 4.87 AC
 PROVIDED: 5.59 AC + 0.34 AC = 5.93 AC

*SHADING REQUIREMENTS SHOWN FOR REFERENCE ONLY. NO NEW TREES HAVE BEEN ADDED TO SATISFY SHADING REQUIREMENTS SINCE ALL PAVING AND PARKING AREAS ARE EXISTING.



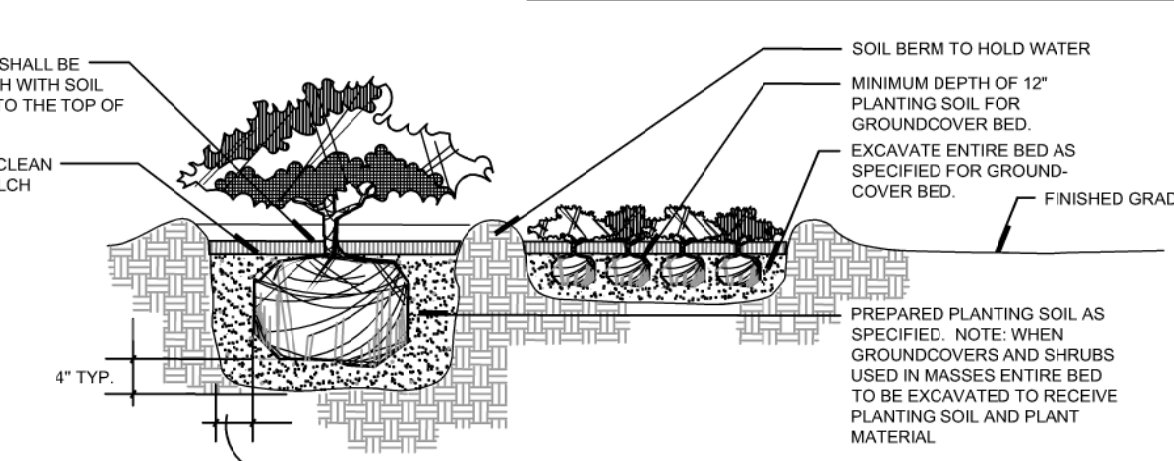
A TYPICAL FOUNDATION PLANTING DETAILS

FOUNDATION PLANTING NOTES:

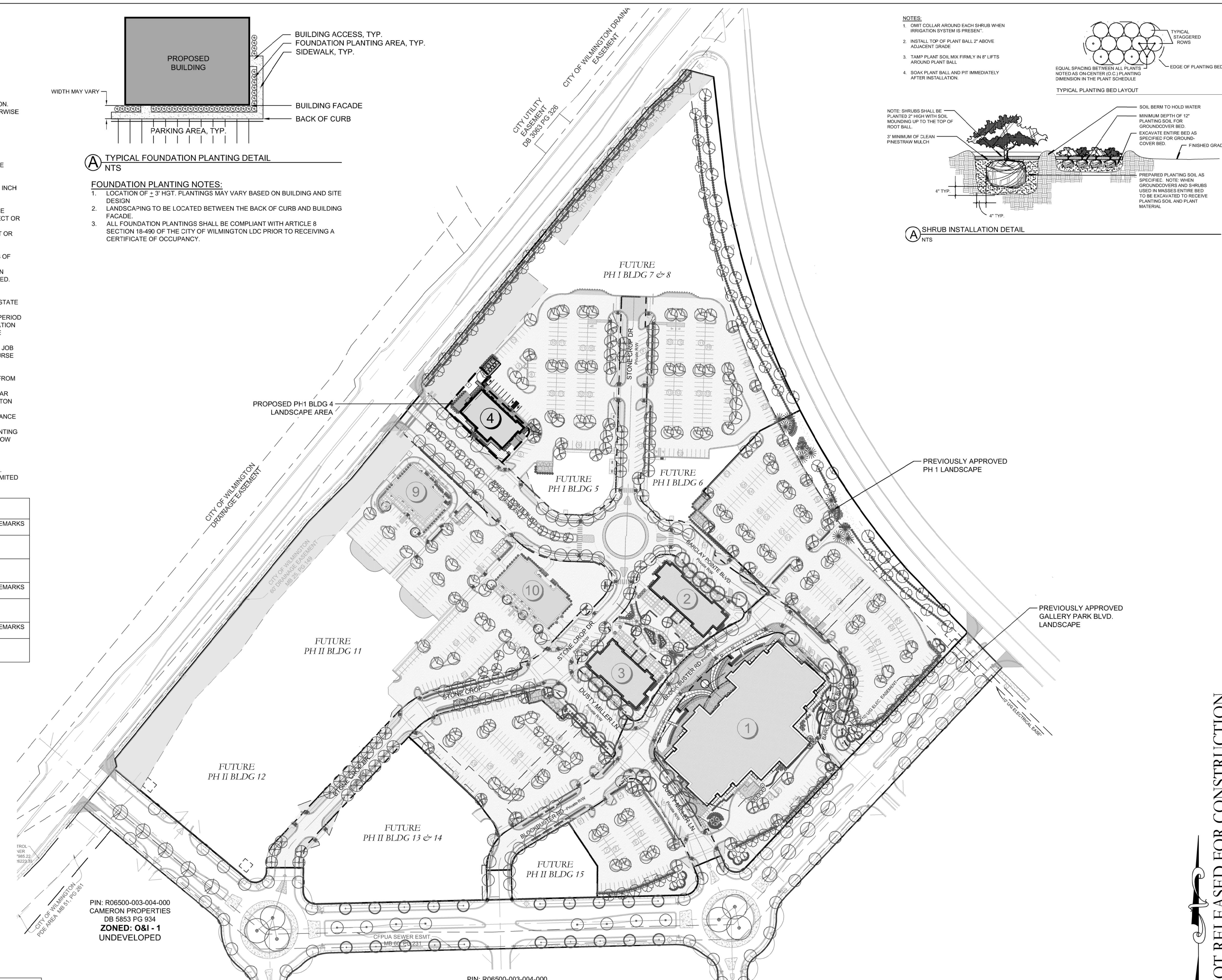
- LOCATION OF 1' 3" HGT. PLANTINGS MAY VARY BASED ON BUILDING AND SITE DESIGN
- LANDSCAPING TO BE LOCATED BETWEEN THE BACK OF CURB AND BUILDING FACADE.
- ALL FOUNDATION PLANTINGS SHALL BE COMPLIANT WITH ARTICLE 8 SECTION 18-490 OF THE CITY OF WILMINGTON LDC PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

NOTES:

- OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
- INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE.
- TAMP PLANT SOIL MIX FIRMLY IN 8" LIFTS AROUND PLANT BALL.
- SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



A SHRUB INSTALLATION DETAIL DETAILS



PIN: R06500-003-004-000
 CAMERON PROPERTIES
 DB 5853 PG 934
ZONED: O&I - 1
 UNDEVELOPED

PIN: R06500-003-004-000
 CAMERON PROPERTIES
 DB 5853 PG 934
ZONED: O&I - 1
 UNDEVELOPED

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

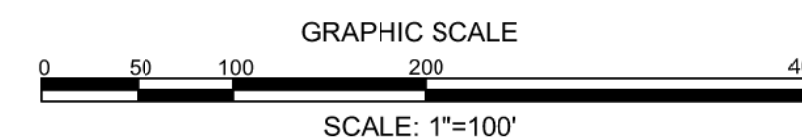
Approved Construction Plan

Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
 Signed: _____



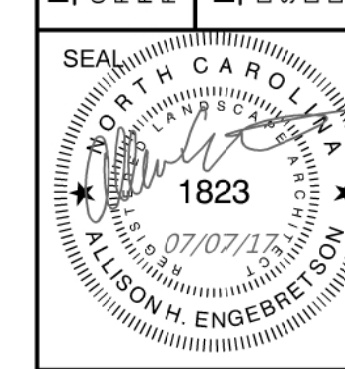
CLIENT INFORMATION:

Barclay Commons Retail, LLC
 1111 Metropolitan Ave., Suite 700
 Charlotte, NC 28204

PARAMOUNTE ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

OVERALL LANDSCAPE PLAN
 THE POINTE AT BARCLAY
 PHASE I - BUILDING 4
 BARCLAY WEST TRACT 'B'
 CITY OF WILMINGTON
 NORTH CAROLINA

PROJECT STATUS:
 CONCEPTUAL LAYOUT: _____
 FINAL DESIGN LAYOUT: _____
 RELEASED FOR CONSTRUCTION: _____
 DRAWING INFORMATION:
 DATE: 07/07/17
 SCALE: 1" = 100'
 DESIGNED: JOHN
 CHECKED: ABE



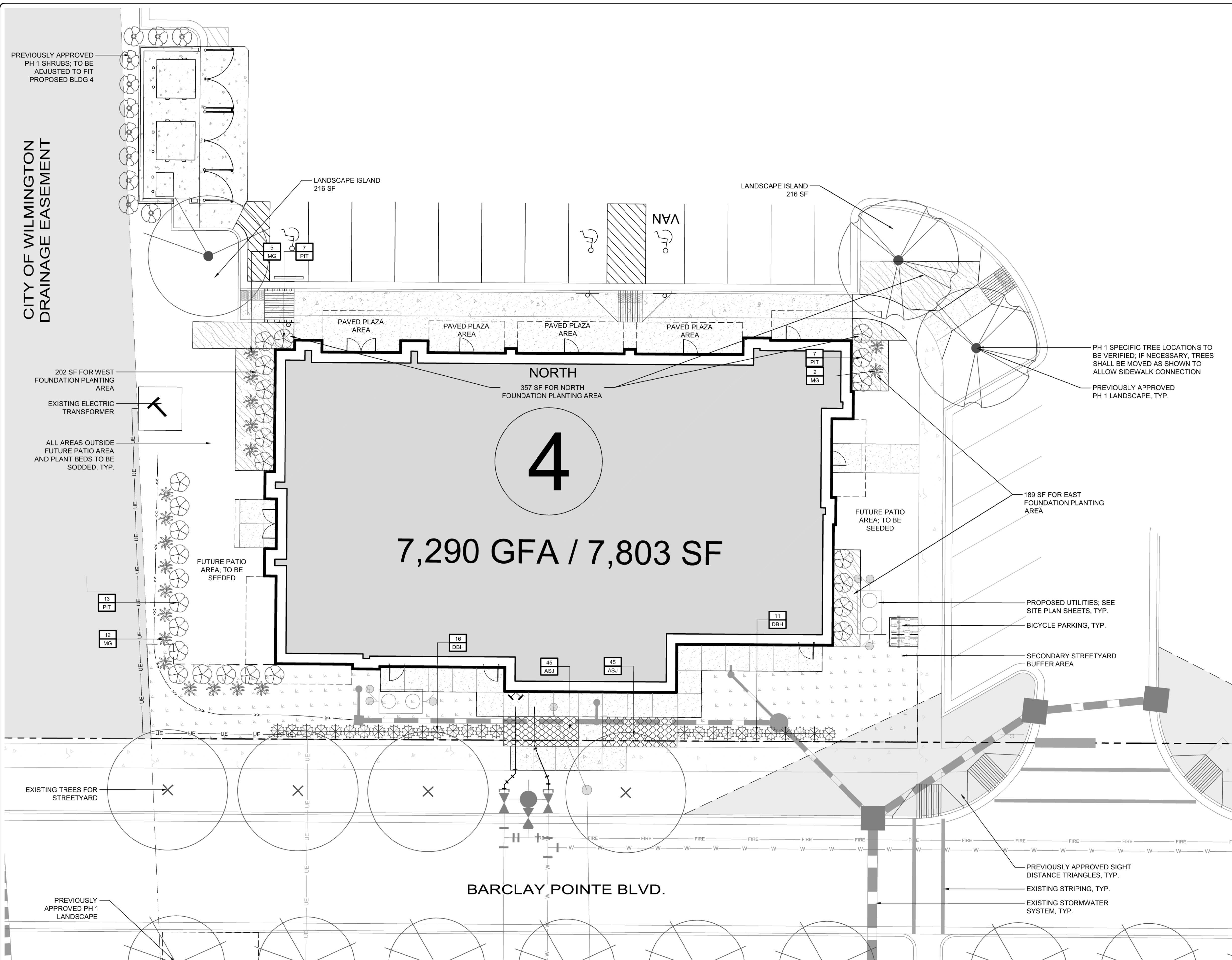
L-1.0

PEI JOB#: 14222.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



Know what's below. Call before you dig.





Landscape Calculations											
Required Foundation Plantings										Provided	
Phase 1 - Building 4											
Location	Bldg. Hgt.	LF - North	North SF (LF x Bldg. Hgt. x .12)	LF - South	South SF (LF x Bldg. Hgt. x .12)	LF - East	East SF (LF x Bldg. Hgt. x .12)	LF - West	West SF (LF x Bldg. Hgt. x .12)	North SF Provided	South SF Provided
Building 4	24.5	120	353	-	-	64	188	68	200	357	-
Required Street Yard										Provided	
Phase 1											
Location	LF of frontage	Total SF required (Zoning Multiplier of 12.5)	Plant Multiplier (Total SF/ 600 SF)	Trees Required (Plant Multiplier x 1)	Shrubs Required (Plant Multiplier x 6)	SF Provided	Trees Provided	Shrubs Provided			
Barclay Pointe Blvd.	158	1,975	3.29	3	20	1,975	4	20			

NCDENR FWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

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Approved Construction Plan
 Name: _____ Date: _____
 Planning: _____
 Traffic: _____
 Fire: _____


 Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Know what's below. Call before you dig.
 GRAPHIC SCALE
 0 5 10 20 40
 SCALE: 1"=10'

REVISIONS:
 CLIENT INFORMATION:
Barclay Commons Retail, LLC
 1111 Metropolitan Ave., Suite 700
 Charlotte, NC 28204
PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
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LANDSCAPE PLAN
THE POINTE AT BARCLAY
PHASE 1 - BUILDING 4
'BARCLAY WEST TRACT B'
CITY OF WILMINGTON
NORTH CAROLINA
 PROJECT STATUS:
 CONCEPTUAL LAYOUT: _____
 FINAL DESIGN: _____
 RELEASED FOR CONST: _____
 DRAWING INFORMATION:
 DATE: 07/07/17
 SCALE: 1"=10'
 DESIGNED: JOHN
 CHECKED: ABE
FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION
 SEAL: NORTH CAROLINA 1823 07/07/17
 PEI JOB#: 14222.PE
L-1.1